

ENVIRONMENTAL CLEARANCE COMPLIANCE REPORT

S. No	Conditions	Compliance
A. Conditions for Pre-Construction Phase:		
1	The Project authorities should advertise with basic details at least in two local newspapers widely circulated, one of which shall be in the vernacular language of the locality concerned, within 7 days of the issue of clearance and a copy of the clearance letter is available with the State Pollution Control Board and also at website of SEIAA, TN and a copy of the same should be forwarded to the Regional Office of the Ministry of Environment and Forests located at Chennai.	Complied. We had advertised Environmental Clearance obtained for our project in the local newspaper English and Tamil version and the copy of the same submitted through six months compliance to TNPCB, SEIAA and RO Chennai. Newspaper enclosed as Annexure – 1 . Six Months Compliance Submission acknowledgement enclosed as Annexure - 2
2	In the case of any changes(s) in the scope of the project, a fresh appraisal by the SEAC/SEIAA shall be obtained.	It is noted and agreed.
3	A copy of the clearance letter shall be sent by the proponent to the Commissioner Corporation of Chennai and the Local NGO, if any, from whom suggestions/ representations, if any, have been received while processing the proposal. The clearance letter shall also be put on the website of the proponent.	Complied. Copy of Environmental Clearance obtained for our project submitted to Local Body and the acknowledgement of the same enclosed as Annexure – 3 The Environmental Clearance of the project has also been uploaded on our website. Uploaded copy attached as Annexure - 4
4	“Consent for Establishment” shall be obtained from the Tamil Nadu Pollution Control Board and a copy of the same shall be submitted to the SEIAA, Tamil Nadu before start of construction activity at the site.	Complied. Consent for Establishment was obtained from Tamil Nadu Pollution Control Board vide PROCEEDINGS NO. T5/ TNPCB/F.0594MMN/RL/MMN/ A&W/2017 dated:18.07.2017 and the same was submitted through six-month compliance to SEIAA-TN. Enclosed as Annexure - 5
5	Any appeal against this environmental clearance shall lie with the Hon’ble National Green Tribunal, if preferred, within a period of 30 days as prescribed under Section 16 of the National Green	It is noted and agreed.

	Tribunal Act, 2010.	
6	The approval of the competent authority shall be obtained for structural safety of the buildings during earthquake, adequacy of firefighting equipments, etc as per National Building Code including protection measures from lightning etc.	Complied. The building is designed and constructed as per National Building Code. Structural Stability Certificate obtained from competent authority and enclosed as Annexure – 6 .
7	All required sanitary and hygienic measures should be in place before starting construction activities and they have to be maintained throughout the construction phase.	Complied. All sanitary and Hygienic measures were in place and the same being done throughout construction phase.
8	Design of buildings should be in conformity with the Seismic Zone Classifications.	Complied. Buildings designed and constructed in conformity with the seismic Zone-III, according to the Indian Standard seismic Zoning Map classification. Stability Certificate obtained from competent authority and enclosed as Annexure – 6 .
9	All other Statutory clearance such as the approvals for storage of diesel from Chief Controller of Explosives, Fire and Rescue Services Department, Civil Aviation Department, Forest Conservation Act. 1980 and Wild Life (Protection) Act, 1972, State/Central Ground Water Authority, Coastal Regulation Zone Authority, other statutory and other authorities as applicable to the project shall be obtained by project proponent from the concerned competent authorities.	Complied. We had obtained NOC from Fire and Rescue Services Department. Fire NOC enclosed as Annexure - 7 As the project site does not utilize any forest land approval under Forest Conservation Act, 1980 and the Wildlife (Protection) Act 1972 not applicable. We had obtained Ground water NOC from WRD vide: Lr.No.DD(G)/OT 9/G-3/107/Fresh NOC/Chennai/2023 dated:15.09.2023. Enclosed as Annexure - 8
10	The project proponent is requested to indicate the probable date of commissioning of the project supported with necessary bar charts.	Complied. The necessary construction schedule indicating the period of commissioning of the project enclosed as Annexure - 9
11	The structural design of the proposed building must be vetted by premier academic institutions like Anna University, IIT Madras, etc.	Complied. We had obtained Structural stability certificate vetted by Competent authority. Structural stability certificate enclosed as Annexure - 6
12	The height and coverage of the constructions shall be in accordance with the existing FSI/FAR norms as per Coastal Regulation Zone Notifications, 2011.	Not applicable. This project site is not located within CRZ area.

B. Conditions for Construction Phase		
13	No construction activity of any kind shall be taken up in the OSR area. Consent of the local body concerned shall be obtained for using the secondary treated sewage in the OSR area.	Agreed and complied. No construction activities have been carried out within the OSR area. During the construction phase, sewage generated was collected through a bio-septic tank and treated in existing STP.
14	The construction of the structures & buildings of the project should be undertaken as per the plans approved by the concerned local authorities/ local administration.	Complied. The Construction of all structures carried as per approved by local planning authority. Approved Layout and Building planning permission enclosed as Annexure - 10
15	Adequate measures to reduce air and noise pollution during construction shall be adopted, conforming to norms prescribed by the TNPCB on noise limits.	Complied. Water sprinkling along the internal roads, vehicles carrying the construction materials covered with tarpaulin sheets to prevent dust pollution. DG sets provided with acoustic enclosures, usage of construction machineries in good condition to control noise. Construction activities carried out during day time and non-peak hours only.
16	The project proponent has earmarked 2.25 Ha of the site area for green belt development, which works out to 15% of the total site area of 14.61 Ha Plant/ tree species with large potential for carbon capture shall be planted in the proposed green belt area based on the recommendation of the Forest Department.	Complied. We had developed Greenbelt area of 2.25 Hectare within the project site with native species. 1446 No. of Trees planted within project site Details and Photos of greenbelt is enclosed as Annexure - 11
17	The entire water requirement during construction phase shall be met from Private Water Tankers, as committed.	Complied. Water supply is met through Private Tankers. Acknowledgement copy enclosed as Annexure - 12
18	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices prevalent.	Complied. Ready Mix Concrete and Curing agents are used in building construction. Photos enclosed as Annexure - 13
19	STP (Design Capacity – 1.5 MLD) shall be constructed with treatment units such as Bar Screen Chamber, Collection Tank, Aeration tank, settling tank, Filter press, clarified water tank, pressure sand filter, Activated Carbon filter & UV treatment for the treatment of sewage generation from the project as proposed.	Complied. STP is constructed with treatment units. (Bar Screen Chamber, Collection Tank, Aeration tank, settling tank, Filter press, clarified water tank, pressure sand filter, Activated Carbon filter & UV treatment) Enclosed as Annexure - 14

20	All the labourers to be engaged for construction should be screened for health and adequately treated before and during their employment on the work at the project site.	Complied. Health screening conducted for labourers engaged for construction workers.
21	Provision shall be made for the housing labour within the site with all necessary infrastructures and facilities such as fuel for cooking, mobile, toilets, mobile STP, safe drinking water, medical health care, crèche etc. The housing may be in the form of temporary structures to be removed after completion of the project.	Complied. Labours shed provided with facilities such as Drinking water, toilets, Septic Tank. These temporary structures will be dismantled upon completion of construction activities. Photos showing site sanitation and other facilities enclosed as Annexure - 15
22	A First Aid Room shall be provided in the project site during the entire construction phase of the project.	Complied. First Aid Room provided in the project site during the entire period of the construction phase.
23	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. The safe disposal of waste water and solid waste generated during the construction phase should be ensured.	Complied. Adequate drinking water and sanitary facilities provided for construction workers at site. Sewage disposed to bio septic tank and treated in existing STP. Solid waste generated from workers during construction phase disposed to local body.
24	Personnel working in dusty areas should wear protective respiratory devices and they should also be provided with adequate training and information on safety and health aspects. Occupational health surveillance program of the workers should be undertaken periodically to observe any contractions due to exposure to dust and take corrective measures, if needed.	Complied. Safety measures displayed at the site. Periodic Training and information related to health and safety provided to the workers as a part of Occupational Health surveillance program. Medical health check up has been conducted at regular intervals for labours and also personal protective equipments and dust prevention measures provided. Photos enclosed as Annexure - 16
25	Periodical medical examination of the workers engaged in the project shall be carried out and records maintained. For the purpose, schedule of health examination of the workers should be drawn and followed accordingly. The workers shall be provided with personnel protective measures such as masks, gloves, boots etc.	Complied. Periodical medical examination carried out and record will be maintained. Adequate personal protective equipments such as mask, gloves, goggles, boots etc. provided to the workers. Medical examination records of workers engaged during construction phase enclosed as Annexure - 17
26	The solid waste in the form of excavated earth excluding the top soil generated from the project activity shall	Complied. Excavated Top soil preserved at separate location and utilized for greenbelt development. Other

	be scientifically utilized for construction of approach roads and peripheral roads, as reported.	excavated soils utilized for construction of approach roads and peripheral roads.
27	All the top soil excavated during construction activities should be stored for use in horticulture/ landscape development within the project site.	Complied. The top soil excavated during construction activities stored for use in horticulture/ landscape development.
28	Disposal of other construction debris during construction phase should not create any adverse effect on the neighbouring communities and be disposed off-only in approved sites, with the approval of Competent Authorities with necessary precautions for general safety and health aspects of the people.	Complied. Construction debris utilized for formation of Roads, filling of low-lying areas within the site and reused for structures like resting seats. Enclosed as Annexure – 39 . Other waste generated during construction phase were disposed through contractors.
29	Construction spoils, including bituminous materials and other hazardous materials, must not be allowed to contaminate watercourses. The dump sites for such materials must be secured so that they should not leach into the adjacent land/lake/ stream etc.	Agreed & complied. No Dumping of waste was entertained within site during construction phase. Construction spoils, hazardous materials generated during construction phase were disposed through contractors.
30	Low Sulphur Diesel shall be used for operating diesel generator sets to be used during construction phase. The air and noise emission shall conform to the standards prescribed in the Rules under the Environment (Protection) Act, 1986 and the Rules framed thereon.	Complied. Low sulphur diesel utilized for DG sets during construction and air and noise emission conform to the standards under Environmental (Protection) Act, 1986. Ambient Air, Ambient Noise, DG Stack monitoring reports enclosed as Annexure – 18 .
31	The diesel required for operating stand by DG sets shall be stored in underground tanks and if required, clearance from Chief Controller of Explosives shall be taken.	Complied Diesel required for DG sets during construction phase were being purchased on need basis. Hence approval from Chief Controller of Explosives not required.
32	Vehicle hired for bringing construction materials to the site should be in good condition and should conform to air and noise emission standards, prescribed by TNPCB/CPCB. The vehicles should be operated only during non-peak hours.	Complied. Vehicles with valid PUC certificate only used during construction phase. Construction vehicles and material movement operated during non-peak hours Valid PUC certificate enclosed as Annexure - 19
33	Ambient air and noise levels should conform to residential standards prescribed by the TNPCB, both during day and night. Incremental pollution	Complied. Periodical monitoring for ambient Air quality and noise levels conducted and its quality is within the limits. Construction phase monitoring reports

	loads on the ambient air and noise quality should be closely monitored during the construction phase.	enclosed as Annexure – 18
34	Fly-Ash bricks should be used as building material in the construction as per the provision of Fly ash notification of September, 1999 and amended as on 27 th August, 2003.	Complied. Fly- Ash bricks used as building material in the construction. Photos enclosed as Annexure - 20
35	Ready-mix concrete of high quality should be used in building construction and necessary cub-tests should be conducted to ascertain their quality.	Complied. Ready-mix concrete used for building construction. Photos enclosed as Annexure 13 . Cube test reports enclosed as Annexure - 21
36	Storm water control and its re-use shall be as per CGWB and BIS standards for various applications.	Complied. Storm water during construction phase were managed through temporary drains and silt traps to prevent runoff. The collected storm water was diverted to recharge pits provided along the periphery of the site and RWH Sump. Rain water harvesting system is designed as per CGWB and BIS standards.
37	Fixtures for showers, toilet flushing and drinking water should be of low flow type by adopting the use of aerators/ pressure reducing devises / sensor-based control.	Complied. We have installed dual flushing system for toilet flushing, Aerated taps / showers in residential buildings for water conservation. Photo showing Dual plumbing system as Annexure - 22
38	Use of glass shall be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, high quality double glass with special reflecting coating shall be used in windows.	Complied. We have minimized usage of glass in the project site. Only Windows provided with double paned glass to improve insulation and lower energy consumption.
39	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material, to fulfil the requirement.	Complied. Roof is designed with Clay/Terracotta tiles with light colour finish which reduces surface temperature and heat gain
40	Opaque wall should meet prescribed requirement as per Energy Conservation Building Code which is mandatory for all airconditioned spaces by use of appropriate thermal insulation material to fulfil the requirement.	Assure to comply.
41	Lighting arrester shall be properly designed and installed at the top of the	Complied. Lightning arresters installed at top of the building as

	building and where ever is necessary.	per the design requirements to protect the structures. Photos enclosed as Annexure – 23
42	Adequate fire protection equipments and rescue arrangements should be made as per the prescribed standards.	Complied. Adequate fire protection equipments and rescue arrangements provided and have obtained NOC from Fire and Rescue Services Department. Enclosed as Annexure 7 & 24
43	Proper approach road for fire-fighting vehicles and for rescue operations in the event of emergency shall be made.	Complied. Adequate setback area of 7.0 m provided between the blocks and along the periphery as well for the movement of fire fighting vehicles in case of emergency.
44	All ECBC norms have to be adopted.	Complied. Energy conservation measures being adopted as per ECBC norms.
C. Conditions for Operation Phase/Post Construction Phase:		
45	STP shall be operated effectively and continuously so as to achieve the discharge standards prescribed by TNPCB. The continuous operation of the STP shall be ensured even in case of power failure by providing DG set.	Agreed to Comply. DG sets installed as power back-up and for Common area, utility and continuous operations of STP in case of power failure
46	Treated sewage discharged from STP shall confirm to the discharge standards prescribed by TNPCB and it shall be recycled/reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour and mosquito problem in the STP area.	Complied. Sewage generated being treated in STP and the treated Quality meet the TNPCB discharge standards. The Treated water utilized for Toilet Flushing, Greenbelt development. Excess water disposed for Avenue Plantation. Periodic Site Sanitation and odour control measures done to mitigate Odour & mosquito problem. STP Outlet Monitoring report enclosed as Annexure – 25
47	Adequate measures shall be taken to prevent odour emanating from solid waste processing plant and STP.	Complied. Proper ventilation provided in the Solid Waste Management area and STP to prevent odour.
48	DG sets proposed as source of back-up power during operation phase shall be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined	Complied. DG sets being utilized only as power back-up during power failures. Adequate Stack height provided as CPCB norms. Photo enclosed as Annexure - 26

	capacity of all proposed DG sets.	
49	The acoustic enclosures shall be installed at all noise generating equipments such as DG sets, air conditioning systems, etc. and the noise level shall be maintained as per MoEF/ CPCB/ TNPCB guidelines/ norms both during day and night time.	Complied. DG sets with Acoustic enclosures installed in the project site. Periodic Noise Level monitoring being carried out and the Noise Levels are within the Prescribed standard limits of CPCB / TNPCB guidelines. Enclosed as Annexure – 25 & 26
50	Rain water harvesting for surface run-off, as per plan submitted should be implemented. Before recharging the surface run off, pre-treatment with screens, settlers etc. must be done to remove suspended matter, oil and grease, etc. 320 percolation pits shall be provided as committed. The percolation pits for rainwater recharging shall be kept at least 5 mts above the highest ground water table.	Complied. Rainwater harvesting pits are constructed to collect surface runoff in accordance with the site's natural contour and flow pattern. Adequate pre-treatment arrangements such are provided to remove suspended matter, oil, and grease prior to recharge. Rain water harvesting structures enclosed as Annexure – 27
51	Application of solar energy should be incorporated for illumination of common areas, lighting for gardens and street lighting in addition to provision for solar water heating. A hybrids system or fully solar system for a portion of the apartments shall be provided.	Complied. We had installed Solar Water Heaters within the project site. The solar power being utilized for hot water generation. Enclosed as Annexure – 28
52	Energy conservation measures like installation of CFLs/TFLs for lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Used CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules if the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible.	Complied LED Fixtures installed for common area lighting. No CFL/TFL installed within site. Photos enclosed as Annexure – 29
53	A report on the energy conservation measures conforming to energy conservation norms prescribed by the Bureau of Energy Efficiency shall be prepared incorporating details about building materials & technology; R & U factors etc and submitted to the SEIAA	Complied. Various energy conservation measures such as usage of LED bulbs for lighting. Solar water heater installed for energy conservation. Energy efficient building materials utilised in building construction. Energy conservation report enclosed as Annexure - 30

	in three months' time.	
54	The building should have adequate distance between them to allow free movement of fresh air and passage of natural light, air and ventilation. Landscape plan to be revised accordingly.	Complied. The building is designed in such a way that there is adequate distance between them to allow free movement of fresh air and passage of natural light, air and ventilation.
55	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site shall be avoided. Parking shall be fully internalized and no public space should be utilized. Parking plan should be as per MoEF norms.	Complied. Bell mouth entry is provided to avoid traffic congestion at the main entrance. Entry and exit gates are provided with Speed limits. Parking provisions are fully internationalized through surface and covered parking. Photos enclosed as Annexure - 31
56	A copy of the Environmental Clearance shall be issued to all the allottees while executing the allotment order/sale deed before handing over of the building to allottees.	Complied. Copy of Environmental Clearance issued to allottees through provision of brochure mentioning the website link. Enclosed as Annexure – 32
57	The plan prepared showing separate pipelines marked with different colour shall be prepared with the following details shall be given to all the allottees/owners while executing the allotment order/sale deed. <ul style="list-style-type: none"> i. Location of STP, compost system, underground sewer line. ii. Pipe Line conveying the treated effluent for green belt development. iii. Pipe line conveying the treated effluent for toilet flushing. iv. Water supply pipeline v. Gas supply pipe line if proposed vi. Telephone cable vii. Power cable viii. Strom water drain ix. Rain water harvesting system 	Complied. Site Layout Plan Showing Pipelines with colour codes (STP Sewer Pipe line, Water Pipe line, Gas Supply Pipe line, Storm water drain, Rain Water Harvesting system etc.) handed over to the allottees. Enclosed as Annexure – 33

58	A first Aid Room shall be provided during operation of the project, with necessary equipments and life-saving medicines and should be manned all the 24 hours any day.	Complied First aid kits are available at the common lobby in case of any emergency along with the contact numbers and nearby hospital facilities. Annexure – 34
59	The capital budget of Rs 198 lakhs under CSR activity shall be used only for such activities as committed by the proponent for the purpose for which it was allotted.	Complied. We ensure CSR activity implemented and the funds earmarked for CSR being spent. Annexure – 35
60	The amount earmarked for Environmental Monitoring Plan (EMP) for construction and operation periods of capital cost Rs. 1.75 Crores and recurring cost of Rs. 35 lakhs per year shall be used as committed by the proponent.	Complied. Funds earmarked for Environmental Protection measures maintained in organization account. Proof for EMP Spent on Environmental Protection measures enclosed as Annexure – 36
61	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it is found that construction of the project has been started without obtaining Environmental Clearance and for any other action resulting in violation of any condition stipulated in the Environmental Clearance.	Agreed.

D. Conditions for Entire life of the Project:

1	The proponent shall establish all common facilities in connection with the project such as sewage treatment plant, treated sewage disposal arrangements, solid waste management system, green belt development, rain water harvesting facility, environmental monitoring system etc as proposed before handing over the flats to all allottees. After establishment, the proponent himself shall maintain all common facilities for the entire life period (or) a viable society or an association among the allottees shall be formed to take responsibility of	Agreed to comply. All Common facilities have been established and handed over the flats to the allottees. The agreement is made to ensure compliance of all conditions furnished in the Environmental Clearance for the entire project life period. Enclosed as Annexure – 37
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	continuous maintenance of all common facilities with required agreements for compliance of all conditions furnished in Environment Clearance (EC) issued by the SEIAA-TN of the entire life period.	
2.	It shall be ensured that the fresh water requirement of quantity 1.05 MLD for the project during entire operation period shall be met from the local body as committed in the Affidavit.	Complied. Fresh water requirement 1120 KLD will be met through Borewells within site & local body enclosed as Annexure -8 & 12
3	It shall be ensured that the excess treated sewage / water of quantity 0.762 MLD shall be utilized for Avenue plantations maintained by local body after obtaining permission from local body concern after using the treated sewage/water for flushing requirement by providing dual plumping system and using the treated sewage for green belt development within the project premises as committed in the Affidavit.	Complied. Excess treated water being utilized for OSR Plantation and permission obtained from local body vide Enclosed as Annexure – 38
4	It shall be ensured that the 0.078 MLD treated sewage water disposed for green belt development/avenue plantation should not pollute the soil/ground water/ adjacent canals/ lakes/ ponds, etc.	Complied. Periodical monitoring of Treated sewage water quality and the parameters are well within the limits by TNPCB guidelines. Excess treated water being utilized for Avenue plantation.
5	It shall be ensured that storm water drain provided at the project site shall be maintained without choking or without causing stagnation and should also ensure that the storm water shall be properly disposed off in the natural drainage/channels without disrupting the adjacent public. Adequate harvesting of storm water should be ensured.	Agreed and complied. Storm water drains are maintained without choking/ stagnation of water within site. Adequate storm water harvesting systems such as sumps, recharge pits, and open wells have been constructed within the project site. The storm water drainage network is properly connected to the natural drain channels and is regularly maintained to prevent water stagnation and flooding in the surrounding areas. Photos enclosed as Annexure – 27

6	It shall be ensured that necessary trenches for openings shall be provided at periodic intervals along the compound wall, so as to let out the storm water during rainy season, without stagnation/ ponding.	Agreed and complied. Necessary trenches and openings have been provided at periodic intervals along the compound wall, and the storm water drainage system is connected to natural drain channels and regularly maintained to ensure proper discharge during the rainy season and to prevent flooding or stagnation in the surrounding areas.
7	It shall be ensured that roof top run-off collected from the covered roof of the buildings, etc shall be scientifically harvested so as to ensure the maximum beneficiation of rain water harvesting. For this purpose, one collection sump (1x200 cum capacity) shall be provided as proposed for collection of roof top runoff water.	Complied. Roof rain water collected from the covered roof of the buildings harvested in rain water sump of capacity 500 KL and reused. Photo showing rainwater harvesting pits enclosed as Annexure – 27
8	There shall be no drawl of ground water.	It is noted. We had obtained Ground water NOC from WRD vide: Lr.No.DD(G)/OT 9/G-3/107/Fresh NOC/Chennai/2023 dated:15.09.2023. Fresh water requirement 1120 KLD met through local body. Enclosed as Annexure – 8 & 12
9	The Biodegradable solid waste, non-biodegradable solid waste, STP sludge, etc generated from the project activity shall be properly collected, segregated and disposal as committed, and as per the provision of Solid Waste (Management and Handling) Rules, 2000.	Complied. Waste being generated collected in bins and disposed to Organic Waste Composter within the project site for handling of bio degradable waste. STP Sludge collected and mixed with organic compost used as manure in Green Belt. Inert wastes disposed to local body. Photos enclosed as Annexure – 39
10	The Plastic wastes shall be segregated and disposed as per the provisions of Plastic Waste (Management & Handling) Rules 2011.	Agreed and complied. Plastic wastes are collected, segregated and disposed as per Plastic Waste Management Rules 2016 and its amendments. Enclosed as Annexure – 39
11	The E-waste generated shall be collected and disposed to the nearby authorized E-waste centre as per E-waste (Management & Handling) Rules 2011.	Agreed and complied. E-wastes are collected, segregated and disposed through authorized E-Waste recyclers as per E-Waste Management Rules 2022 and its amendments. Enclosed as Annexure – 39
12	Spent oil collected from DG sets shall be stored in HDPE drums in an isolated	Complied. Spent oils from DG sets stored in HDPE drums and

	covered facility and disposed as per the Hazardous Wastes (Management, Handling and Transboundary Movement) Rules 2008. Spent oil from DG sets shall be disposed off through registered recyclers.	disposed through authorized recyclers. Enclosed as Annexure – 40
13	Incremental pollution loads on the ambient air quality, noise and water quality shall be periodically monitored after commissioning of the project.	Complied Periodical Environmental Monitoring being carried out and the reports of analysis also be maintained enclosed as Annexure – 25
14	A separate environmental management cell with suitable qualified personnel shall be set-up under the control of a Senior Executive, who will report directly to the Head of the Organization.	Complied. We had established Environmental Management cell under the control of Senior Executive who reports directly to the management. Environmental management cell enclosed as Annexure – 41
15	The funds earmarked for environmental protection measures should be kept in separate account and should not be diverted for other purpose. Year wise expenditure should be reported to the MoEF and its Regional Office located at Chennai. Funds for CSR activity shall be allotted and used for that purpose and separate account shall be maintained.	Complied. Funds earmarked for Environmental Protection measures and CSR activities maintained in organization account. Year wise expenditure being submitted to MoEF and RO Chennai through six-month compliance. Enclosed as Annexure – 2, 35 & 36
16	The project proponent shall submit six-monthly reports (as on 1 st June and 1 st December of each calendar year) on the status of compliance of the stipulated environmental clearance conditions including results of monitored data (both in hard copies as well as by e-mail) to the Ministry of Environment and Forests, its Regional Office at Chennai, the Zonal Office of Central	Complied. Periodical submission of Six-month compliance report for the stipulated conditions to MoEF&CC & RO Chennai, SEIAA and TNPCB. Submission acknowledgement enclosed as Annexure – 2 .

	Pollution Control Board, SEIAA, TN and the State Pollution Control Board.	
17	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, Chennai and TNPCB. The criteria pollutant levels namely; SPM, RSPM, SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sectoral parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	Complied. Status of Compliance of stipulated Environmental Clearance conditions including results of monitoring data uploaded in our organization website. The copy of the same sent to Regional Office of MoEF&CC and TNPCB. Enclosed as Annexure – 2 and 4.
18	The SEIAA, TN reserves the right to add additional safeguard measures subsequently, if non-compliance of any of the EC conditions are found and to take action, including revoking of this EC as the case may be.	Noted.
19	The SEIAA, TN may alter/modify the above conditions or stipulate any further condition in the interest of environment protection, even during the subsequent period.	Agreed Upon.
20	The Regional Office of the MoEF located at Chennai shall monitor compliance of the stipulated conditions. The project authorities should extend full cooperation to the officer (s) of the Regional Office by furnishing the requisite data / information / monitoring reports.	Agreed
21	Failure to comply with any of the conditions mentioned above may result in withdrawal of this Environmental Clearance and attract action under the provisions of the Environment (Protection) Act, 1986.	Agreed.
22	The above conditions will be enforced inter-alia, under the provisions of the Water (Prevention & Control of Pollution) Act, 1974, the Air	Agreed.

	(Prevention & Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986, the Public Liability Insurance Act, 1991, along with their amendments, draft Minor Mineral Conservation & Development Rules, 2010 framed under MMRD Act 1957, National Commission for protection of Child Right Rules, 2006 and rules made there under and also any other orders passed by the Hon'ble Supreme Court of India / Hon'ble High Court of Madras and any other Courts of Law, including the Hon'ble National Green Tribunal relating to the subject matter.	
23	Environmental clearance is subject to final order of the Hon'ble Supreme Court of India in the matter of Goa foundation Vs. Union of India in Writ petition (Civil) No. 460 of 2004 as may be applicable to this project.	Agreed.
24	This Environmental Clearance does not imply that the other statutory / administrative clearance shall be granted to the project by the concerned authorities. Such authorities would be considering the project on merits and be taking decisions independently of the Environmental Clearance.	Agreed Upon.
25	The environmental statement for each financial year ending 31 st March in Form-V as is mandated to be submitted by the project proponent to the TNPCB as prescribed under the Environment (Protection) Rules, 1986 as amended subsequently, shall also be put on the website of the company along with the status of compliance of Environmental Clearance conditions and shall also be sent to the Regional Office of the MoEF, Chennai by e-mail.	Complied. Environmental Statement (Form- V) uploaded in our organization website. The copy of the same submitted to TNPCB and Regional Office of MoEF&CC through six months compliance. Enclosed as Annexure 2 & 4 .
26	The SEIAA, TN may cancel the environment clearance granted to this project under the provisions of EIA Notification, 2006, if at any stage of the validity of this environmental	Agreed.

	Clearance, if it is found or if it comes to the knowledge of this SEIAA, TN that the project proponent has deliberately concealed and/or submitted false or misleading information or inadequate data for obtaining the environmental clearance.	
27	It is mandatory for the Project proponent to furnish to the SEIAA, half yearly compliance report in Hard and Soft copies on 1 st June and 1 st December of each calendar year in respect of the conditions stipulated in the prior Environmental Clearance.	Complied. Periodical submission of compliance report for the stipulated conditions to SEIAA-TN. Submission acknowledgement enclosed as Annexure – 2 .

Annexure 1

Newspaper Advertisement

PUBLIC NOTICE

This is to inform that Construction of Residential Group Cum Commercial Building by Shriprop Structures Private Limited at S.F No 154A, 164B, 654, 65/5A, 65/5B, 76A, 76/5, 77/1A, 77/1B, 77/2B, 77/2C1A, B, C, D, E, F, 77/2C2, 77/3A, 77/3B, 78/1, 78/2, 79/1, 79/2, 80/1, 80/2, 81/1, 81/2, 82, 83, 85, 86/1B, 86/1C, 86/2A, 86/2B, 87/1A, 87/1B1, 87/1B2, 87/2A, 87/2B, 87/2C, 88/1, 88/2, 88/3, 89/2, 89/3A, 89/3B, 89/3C, 89/4A, 89/4B, 90, 95/4. Perumattunallur Village, Chengalpattu, Tamil Nadu has been accorded Environmental Clearance by the State Environmental Impact Assessment Authority of Tamil Nadu. The copies of the said clearance are available with the Tamil Nadu Pollution Control Board and may also be seen on the website of the State Environmental Impact Assessment Authority of Tamil Nadu at <http://environmentclearance.nic.in>

W.H. Stenray Structures Private Limited
9, Beazantulah Road,
T. Nagar, Chennai - 600 017

பொது அறிவிப்பு

காந்திசிபூர் மாவட்டம்,
கோங்கல்பட்டு வட்டம், பெருமான்கு
நல்லூர் கிராமம், சாவே என்கென் :
16/4B, 65/4, 65/5A, 65/5B, 76/4,
76/5, 77/1A, 77/1B, 77/2B, 77/2C1
(A, B, C, D, E, F), 77/2C2, 77/3A,
77/3B, 78/1, 78/2, 79/1, 79/2,
80/1, 80/2, 81/1, 81/2, 82, 83, 85,
86/1B, 86/1C, 86/2A, 86/2B, 87/1A,
87/1B1, 87/1B2, 87/2A, 87/2B,
87/2C, 88/1, 88/2, 88/3, 89/2,
89/3A, 89/3B, 89/3C, 89/4A,
89/4B, 90, 95/4 உள்ளக்கிய
நிலங்களில் M/s. Shriprop
Structures Private Limited
நிறுவனத்திற்கு குழுமிகுப்பு மற்றும்
வளர்க்க வாங்க கட்டிடத்திற்கான
கற்றுக்கூழல் இசைவாகனங்கள்,
மாறிய கற்றுக்கூழல் மதிப்பீடு
ஆகவையம் வழங்கின்பது
(SEIAA). இசைவாகனங்களின்
நகல், குழுமநாடு மாக கட்டுப்பாடு
வாய்ந்தில் விகைக்கும். செயல்
இயங்குவதனால் மாறிய கற்று
கூழல் மதிப்பீடு ஆகவையந்தின்
இல்லையதாகத்தில்
www.environmentclearance.nic.in
ஒன்றையாகி.

M/s. Shriprop Structures Private Limited
9, Bazzuliah Road,
T. Nagar, Chennai - 600 017.

Annexure 2
Form V, Six Month EC Compliance Report
Submission Ack
(Jun and Dec Reporting Period)

To,

Date: 15.05.2025

District Environmental Engineer,
Tamilnadu Pollution Control Board,
Maraimalai Adigalar Street, Next to Municipal Office,
Maraimalai Nagar, Chennai-603 209.

Dear Sir,

Subject:

Submission of Environmental Statement under Rule 14 of the Environment (Protection) Rules, 1986 for the Financial Year 2024–2025 – Reg.

Reference:

Proceedings No.T2/TNPCB/F.0594MMN/RL//MMN/A&W/2024 Dated: 30/05/2024

Our Residential Building in the name of **M/s. Shriprop Structures Pvt Ltd - Phase II** located at S.F. No: 16/4A, 4B, 65/4, 5A, 5B; 76/4, 5, etc., Perumattunallur Village, Vandalur Taluk and Chengalpattu District.

We have obtained consent for our unit vide above proceeding number with validity upto March 31, 2025. As per the compliance requirements stipulated under Rule 14 of the Environment (Protection) Rules, 1986, we are hereby submitting the Environmental Statement in Form V for the Financial Year ending March 31, 2025.

We request you to kindly acknowledge the same.

Thanking you.

Yours faithfully,

For **Shriprop Structures Private Limited.**,

[Signature]
Authorised Signatory

Encl: Form V



Registered Office :
'Shriram House', No. 31, T Chowdaiah Road,
Sadashivanagar, Bengaluru - 560 080
P: +91-44-40014410 | W: www.shriramproperties.com
CIN No.: U45201KA2008PTC045030

Correspondence Address:
Lakshmi Neela Rite Choice Chamber, 1st Floor
#9, Bazullah Road, T.Nagar, Chennai - 600 017

**ENVIRONMENTAL STATEMENT
FORM V**

(See rule 14 of Environment (Protection) Rules, 1986)

Environmental statement for the financial year ending the 31st March 2025

PART - A

(i) Name and Address of the owner/occupier of the industry operation or process:	M/s. SHIRIPROP STRUCTURES PRIVATE LIMITED - PHASE II S.F. No. 16/4A, 4B, 65/4, 5A, 5B; 76/4 etc., Perumattunallur Village, Vandalur Taluk, Chengalpattu District.
(ii) Industry category Primary - (STC Code) Secondary - (SIC Code)	1063 - Red - Large
(iii) Production capacity - Units	Not applicable. Residential Building consists of Tower 11(LIG) - Residential - S+7Floor with 112 Dwelling Units; Tower 13 - S+7Floor with 70 Dwelling Units; Tower 15 - S+7Floor with 70 Dwelling Units; Tower 21 - S+ 7Floor with 84 Dwelling Units; Tower 22 - S+ 7Floor with 112 Dwelling Units, totally 448 Dwelling Units with total built up area of 46186.25 Sq.m
(iv) Year of Establishment	2017
(v) Date of last environmental statement submitted	-

PART - B

Water consumption m³/day	During the previous financial year (2023-24)	During the current financial year (2024-25)
WC-II: Domestic	238	252

Product output

Name of Products	During the previous financial year (2023-24)	During the current financial year (2024-25)
Not applicable. It is a Residential Building		

(ii) Raw material consumption -

Name of raw materials	Consumption of raw material per unit of product output



	During the previous financial year (2023-24)	During the current financial year (2024-25)
Not applicable. It is a Residential Building		

* Industry may use codes if disclosing details of raw material would violate contractual obligations, otherwise all industries have to name the raw materials used.

PART - C

Pollution discharged to environment/unit of output (Parameter as specified in the consent issued)

Enclosed in Annexure

PART - D

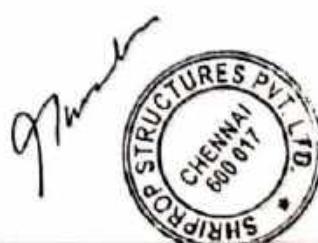
Hazardous Wastes

(As specified under Hazardous Wastes (Management, Handling and Transboundary Movement) Rules, 2008)

Hazardous wastes	Total Quantity (Kg.)	
	During the previous financial year (2023-24)	During the current financial year (2024-25)
5.1- Used Oil	-	0.01

PART - E Solid Wastes

Solid wastes	Total Quantity (Kg/Day)	
	During the previous financial year (2023-24)	During the current financial year (2024-25)
Bio-Degradable Wastes	360	381
Non-Bio-degradable Waste	530	572
STP Sludge	10	12



PART - F

Please specify the characteristics (in terms of consumption of quantum) of hazardous as well as solid wastes and indicate disposal practice adopted for both these categories of wastes.

PART - G

Impact of the pollution abatement measures taken on conservation of natural resources and on the cost of production

Several environmental management programs have been taken

Monitoring the quality of air, water and stack emission and noise level us

Treated sewage is reused

Green belt area has been improved

PART - H

Additional measures/investment proposal for environmental protection including abatement of pollution, prevention of pollution

We are committed to protection of environment and eliminated the use of banned plastic items such as plastic cups, plastic covers less than 120 microns

PART - I

Any other particulars for improving the quality of the environment

For SHRIPROP STRUCTURES PVT. LTD.



Authorised Signatory

Signature of the Occupier

Date: 15.05.2025

Place: Chennai



Date: 30.06.2025

To

The Deputy Director General of Forests (C),
Integrated Regional Office (IRO),
Ministry of Environment, Forest & Climate Change,
Shastri Bhawan, Nungambakkam,
Chennai - 600034

Subject: Proposed Construction of residential cum Commercial development in S.No 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District by - M/s. Shriprop Structures Private Limited. Submission of Six-Monthly Compliance Report of Environmental Clearance – June 2025-reg.

Reference: 1. SEIAA-TN/F-1447/EC(8B)/399/2013 Dt:01.04.2015

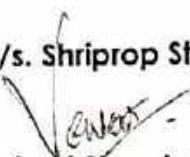
Dear Sir,

We have obtained Environmental Clearance for Proposed Construction of residential cum Commercial development in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District We here with submit the Six-Monthly Compliance Report of Environmental Clearance for the period: June 2025 for your kind perusal.

Thanking you.

Yours faithfully

For M/s. Shriprop Structures Private Limited,


Authorized Signatory



Registered Office :

'Shriram House', No. 31, T Chowdaiah Road,
Sadashivanagar, Bengaluru - 560 080

P: +91-44-40014410 | W: www.shriramproperties.com

CIN No.: U45201KA2008PTC045030

Correspondence Address:

Lakshmi Neela Rite Choice Chamber, 1st Floor,
#9, Bazullah Road, T.Nagar, Chennai - 600 017.

To

Date: 30.06.2025

The Member Secretary,
Tamilnadu Pollution Control Board,
76, Mount Salai, Guindy,
Chennai - 600032.

Subject: Proposed Construction of residential cum Commercial development in S.No 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District by - M/s. **Shriprop Structures Private Limited**, Submission of Six-Monthly Compliance Report of Environmental Clearance – **June 2025-reg.**

Reference: 1. SEIAA-TN/F-1447/EC(8B)/399/2013 Dt:01.04.

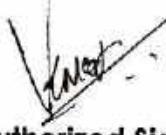
Dear Sir,

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Thanking you

Yours faithfully

For M/s. Shriprop Structures Private Limited,


Authorized Signatory

भारतीय डाक
Madappait West SO (600037)
SP RT1813720811H, TWR No.:1813720811H
01/09/2025 12:06:27, Counter ~~Normal~~ Post
To: THE MEMBER SECRETARY
Guindy, Madras, TAMIL NADU - 600032
From: SHRIPROP STRUCTURES-600017
Base AMT: 40.00,
Rt: 910 (Actual) ¹⁰⁰
P.Mode: Cash,
POD: No www.indiapost.gov.in



Registered Office :
'Shriram House', No. 31, T Chowdaiah Road,
Sadashivanagar, Bengaluru - 560 080

P: +91-44-40014410 | W: www.shriramproperties.com
CIN No.: U45201KA2008PTC045030

Correspondence Address:
Lakshmi Mozaa Ritz Choice Chamber, 1st Floor,
#9, Bazeefah Road, T.Nagar, Chennai - 600 017.

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EC compliance Report-June 2025

Shriprop Structure <shripropstructure@gmail.com>
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Sub: Proposed Construction of residential cum Commercial development in S.No 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District by - M/s. **Shriprop Structures Private Limited**. Submission of Six-Monthly Compliance Report of Environmental Clearance – June 2025-reg.

Ref: 1. SEIAA-TN/F-1447/EC(8B)/399/2013 Dt:01.04.2015

Dear sir,
We herewith submit six-monthly compliance report with Annexures for Our project M/s. **Shriprop Structures Private Limited**
Thanks & Regards
S.Priyanka

2 Attachments • Scanned by Gmail more

Your (Half Yearly Compliance Report) has been Submitted with following details

Proposal No	SEIAA-TN/F.1447/EC/8(b)/399/2013
Compliance ID	7374373
Compliance Number(For Tracking)	EC/M/COMPLIANCE/7374373/2025
Reporting Year	2025
Reporting Period	01 Jun(01 Oct - 31 Mar)
Submission Date	21-08-2025
RO/SRO Name	V George Jenner
RO/SRO Email	tr025@ifs.nic.in
State	TAMIL NADU
RO/SRO Office Address	Integrated Regional Offices, Chennai

Note:- SMS and E-Mail has been sent to V George Jenner, TAMIL NADU with Notification to Project Proponent.

Print



SHRIPROP STRUCTURES PRIVATE LIMITED

Date: 05.02.2026

To

The Deputy Director General of Forests (C),
Integrated Regional Office (IRO),
Ministry of Environment, Forest & Climate Change,
Shastri Bhawan, Nungambakkam,
Chennai - 600034

Sub: Proposed Construction of residential cum Commercial development in S.No 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District by - M/s. Shriprop Structures Private Limited. Submission of Six-Monthly Compliance Report of Environmental Clearance – December 2025-reg.

Ref: 1. SEJAA-TN/F-1447/EC(8B)/399/2013 Dt:01.04.2015

Dear Sir,

We have obtained Environmental Clearance for Proposed Construction of residential cum Commercial development in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District We here with submit the Six-Monthly Compliance Report of Environmental Clearance for the period: December 2025 for your kind perusal.

Thanking you,
Yours faithfully
For M/s. Shriprop Structures Private Limited



Authorized Signatory

Registered Office :
'Shriram House', No. 31, T Chowdiah Road,
Sadashivanagar, Bengaluru - 560 080
P: +91-44-40014410 | W: www.shrirampm.com
CIN No. : U452D1KA2008PTC045030

Correspondence:
Lakshmi Neeta
#9, Bazullah Rd



SHRIPROP STRUCTURES PRIVATE LIMITED

Date: 05.02.2026

To

The Member Secretary,
Tamilnadu Pollution Control Board,
76, Mount Salai, Guindy,
Chennai - 600032.

Sub: Proposed Construction of residential cum Commercial development in S.No 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District by - M/s. **Shriprop Structures Private Limited**. Submission of Six-Monthly Compliance Report of Environmental Clearance – December 2025-reg.

Ref: 1. SEIAA-TN/F-1447/EC(8B)/399/2013 Dt:01.04.

Dear Sir,

We have obtained Environmental Clearance for Proposed Construction of residential cum Commercial development in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District We here with submit the Six-Monthly Compliance Report of Environmental Clearance for the period: December 2025 for your kind perusal.

Thanking you

Yours faithfully

For M/s. **Shriprop Structures Private Limited**



Authorized Signatory



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Duly Office & Printed at Guindy Industrial Estate S.O.600032	
Booking Officer: Megapoint West SO (600032)	
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GST No:33AAAGH654C1U BlkRefID: 296603780229602260	
Charged Weight/Length: 83.0 Pmt Weight: 83.0 Vol/Volume: 534.133	
B 27 H 31	
Amount Paid: 48.00 Base Tariff: 40 Tax: 8.00 CGST: 4.00	
SGST: 4.00	
Mode of Payment: Cash	
Sender	Receiver
SHRIPROP STRUCTURES PVT LTD Mobile No: 1234567890 T. NAGAR	THE MEMBER SECRETARY Mobile No: 1234567890 GUINDY CHENNAI-600032
CBL DRW 000017	
Date of generation: 05/02/2026 13:27:25	
GSTIN: 33AAAGH654C1U	
TIN: 296603780229602260	
Date of generation: 05/02/2026 13:27:25	

Registered Office:

'Shriram House', No. 31, T Chowdiah Road,
Sadashivanagar, Bengaluru - 560 080

P: +91-44-40014410 | W: www.shriramproperties.com

CIN No.: U45201KA2008PTC045030

Correspondence

Lakshmi Neela R
#9, Bazullah Road, T.Nagar, Chennai - 600 017.



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EC compliance Report-December 2025



Shriprop Structure <shripropstructure@gmail.com>

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Sub: Proposed Construction of residential cum Commercial development in S.No 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur village, Chengalpattu Taluk, Kancheepuram District by - M/s. **Shriprop Structures Private Limited.** Submission of Six-Monthly Compliance Report of Environmental Clearance – **December 2025-reg.**

Ref: 1. SEIAA-TN/F-1447/EC(8B)/399/2013 Dt:01.04.2015

Dear sir,

We herewith submit six-monthly compliance report with Annexures for Our project **M/s. Shriprop Structures Private Limited**

Thanks & Regards

Indhumathi E P

3 Attachments • Scanned by Gmail

Add all to Drive



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① Upgrade



Your ([Half Yearly Compliance Report](#)) has been **Submitted** with following details

Proposal No	SEIAA-TN/F.1447/EC/8(b)/399/2013
Compliance ID	1218501230
Compliance Number(For Tracking)	EC/M/COMPLIANCE/1218501230/2026
Reporting Year	2025
Reporting Period	01 Dec(01 Apr - 30 Sep)
Submission Date	06-02-2026
RO/SRO Name	V Geroge Jenner
RO/SRO Email	tr025@ifs.nic.in
State	TAMIL NADU
RO/SRO Office Address	Integrated Regional Offices, Chennai

Note:- SMS and E-Mail has been sent to V Geroge Jenner, TAMIL NADU with Notification to Project Proponent.

Annexure 3

EC Submission to Local Body

Shriprop Structures Private Limited

Lakshmi Neela Rite Choice Chamber, 1st Floor, New No. 9, Bazullah Road,
T. Nagar, Chennai - 600 017. Ph.044 – 4001 4410, 4001 4400



To

Perumattunallur Panchayat
Chengalpattu District
Tamilnadu

Dear Sir,

Subject: Submission of Environmental Clearance – M/s. Shriprop Structures Private Limited – Shriram Shankari – S.F. No. 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur Village, Chengalpattu Taluk , Kancheepuram Dist. – Regarding

Reference: E.C. copy No. SEIAA-TN/F-1447/EC(8B)/399/2013 DATED 01.04.2015

With reference to the above subject. We are submitting the Environmental Clearance Copy of Residential cum Commercial Development in Survey No. 16/4A, 4B, 65/4, 5A, 5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 in Perumattunallur Village, Chengalpattu Taluk , Kancheepuram Dist.

Kindly acknowledge the same.

Yours faithfully,

For Shriprop Structures Private Limited.,

Authorised Signatory





DR. H.MALLESHAPPA,I.F.S.,
MEMBER SECRETARY



STATE LEVEL ENVIRONMENT
IMPACT ASSESSMENT
AUTHORITY, TAMILNADU,
3rd Floor, Panagal Maaligai,
No.1 Jeenis Road, Saidapet,
Chennai-15.

Letter No.SEIAA-TN/F – 1447/EC(8b)/ 399 /2013 Dt. 01. 04.2015

To

M/s Shriprop Structures Pvt. Ltd
Lakshmi Neela Rite Choice Chamber
1st floor, New No. 9 Bazzullah Road,
T.Nagar, Chennai – 600017.

Sir / Madam,

Sub: SEIAA, - Environmental Clearance for the proposed construction of residential group cum commercial building by M/s Shriprop Structures Pvt. Ltd in S.No. 16/4A, 4B etc., in Perumattunallur village, Chengalpet Taluk, Kancheepuram District Tamilnadu - under 8 (b) under Category "B1" and Schedule S.No. 8(b) - issued - Reg.

This has reference to your application received dated 19.06.2013 submitted to the State Level Environment Impact Assessment Authority, Tamil Nadu seeking Environmental Clearance under the Environment Impact Assessment Notification, 2006, as amended.

It is noted, interalia that the project proposal involves Construction of residential cum commercial development, S.F.No.16/4A, 16/4B, 65/4, 65/5A, 65/5B, 76/4, 76/5, 77/1A, 77/1B, 77/2B, 77/2C1 (A,B,C,D,E,F), 77/2C2, 77/3A, 77/3B, 78/1, 78/2, 79/1, 79/2, 80/1, 80/2, 81/1, 81/2, 82, 83, 85, 86/1B, 86/1C, 86/2A, 86/2B, 87/1A, 87/1B1, 87/1B2, 87/2A, 87/2B, 87/2C, 88/1, 88/2, 88/3, 89/2, 89/3A, 89/3B, 89/3C, 89/4A, 89/4B, 90, 95/4, Perumattunallur Village, Chengalpet Taluk, Kancheepuram District. Tamilnadu, Comprising Tower 1 to 7 - Residential – S+4 floors ; Tower 8 & 11 (LIG)- Residential – S+7 floors ; Tower 9 - S+7 floors, Tower - 10 - Residential – G+6 floors ; Tower 12, 16 to 20 – S + 4 floors, Tower 13,15, 21 to 27 – S + 7 floors ; Tower – 14 - Residential – G+6 floors ; Club House – 1 G+1; Club House – 2 G+1; Shop – G+1; Total no. of dwellings – 2254 Units; Expected Occupancies – 12,397 Nos.

ENVIRONMENTAL CLEARANCE (EC)

The area of the plot is 14.61 Ha and built up area is 267677.02 m². The parking area as per report is 31937 m² as covered + Surface parking. The green belt area is 2.25 Ha.

Daily fresh water requirement for the project will be 1.05 MLD for domestic which will be met from Local body water sources. The sewage generated after treatment will be 1.37 MLD out of which 0.53 MLD will be recycled for flushing, 0.078 MLD will be utilized for green belt & 0.762 MLD will be utilized for local body avenue plantations.

Solid Waste generation has been projected as 7.088 T /day out of which 4.068 T/day of Biodegradable waste will be handed over to local body , the 0.540 T/day of Organic sludge generation from STP will be used as manure for gardening and the 2.48 T/ day of Non-Biodegradable / recyclable waste will be disposed through authorized recyclers.

The power required will be of 11.11 MW with backup power for 62.50 KVA: 4 nos. with stack height of 18m from GL each; 82.50 KVA: 5 nos. with stack height of 18m from GL each; 125 KVA:13 nos. with stack height of 18m from GL each. The total cost of the project is about Rs. 396 crores.

The proponent also furnished a commitment letter stating that,

1. We shall hand over the apartments to the concerned owners, only after providing required water supply as per approved letter (Lr. No. 950/2015/A4 dt. 06.03.2015) issued by the Block Development Officer (BDO) and letter dated 07.03.2015 by the Executive Officer, Perumattunallur Category 1 Panchayat.
2. . That the total treated sewage water generated from the proposed project (1370 KLD) will be used for greenbelt (78 KLD), flushing (530 KLD) and the excess treated sewage water of 762 KLD available after reusing for flushing and gardening will be let out as per CPCB standards and utilized for watering avenue plantations and local parks of Perumattunallur Town Panchayat throughout the operation as per approved letter (Lr. No. 948/2015/A4 dt. 06.03.2015) Issued by the Block Development Officer (BDO) and letter dated 07.03.2015 by the Executive Officer, Perumattunallur Category 1 Panchayat.

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3. We assure your good self that Best Management Practices (BMP) will be adopted for the proposed project during the entire course of operation to reduce the quantum of solid waste generated, so as to mitigate the impact on Perumattunallur Town Panchayat collection facility.

The project proponent has furnished project site photo attested by him and authenticated by approved notary public from which it was seen that no construction started at project site as on 24.12.2014

The project activity is covered in 8(b) of the Schedule and is of 'B' category. It does not require Public Consultation as per Para 7(i) III Stage (3) (d) 'Public Consultation' of EIA Notification, 2006. Based on the application made in Form-1, Form-IA, Conceptual plan, Annexure, and the additional clarifications furnished by the proponent, the SEAC in its 64th meeting conducted on 20.3.2015 & 21.03.2015 and the committee decided to recommend to issue Std. ToR for conducting EIA studies. Based on the EIA report it was placed before 65th SEAC held on 1.4.2015 the committee has recommended the proposal to SEIAA, for the grant of EC after calling for certain details. The details asked were submitted by the proponent to SEIAA vide letter dated 1.4.2015

The proposal was considered by the SEIAA, Tamil Nadu 126th meeting held on 01.04.2015 and the proposal was discussed in detail and decided to issue EC with usual conditions. SEIAA hereby accords Environmental Clearance to the above project under the provisions of EIA Notification dated 14th September, 2006 as amended, with validity for five years from the date of issue of EC, subject to the condition that and strict compliance of the terms and conditions stipulated below:

(A) Conditions for Pre Construction Phase:-

- 1) The project authorities should advertise with basic details at least in two local newspaper widely circulated, one of which shall be in the vernacular language of the locality concerned, within 7 days of the issue of clearance

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and a copy of the clearance letter is available with the State Pollution Control Board and also at website of SEIAA, TN and a copy of the same should be forwarded to the Regional Office of the Ministry of Environment and Forests located at Chennai.

- 2) In the case of any change(s) in the scope of the project, a fresh appraisal by the SEAC/SEIAA shall be obtained.
- 3) A copy of the clearance letter shall be sent by the proponent to the Commissioner Corporation of Chennai and the Local NGO, if any, from whom suggestions /representations, if any, have been received while processing the proposal. The clearance letter shall also be put on the website of the Proponent.
- 4) "Consent for Establishment" shall be obtained from the Tamil Nadu Pollution Control Board and a copy of the same shall be submitted to the SEIAA, Tamil Nadu before start of construction activity at the site.
- 5) Any appeal against this environmental clearance shall lie with the Hon'ble National Green Tribunal, if preferred, within a period of 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.
- 6) The approval of the competent authority shall be obtained for structural safety of the buildings during earthquake, adequacy of fire fighting equipments, etc as per National Building Code including protection measures from lightning etc.
- 7) All required sanitary and hygienic measures should be in place before starting construction activities and they have to be maintained throughout the construction phase.
- 8) Design of buildings should be in conformity with the Seismic Zone Classifications.
- 9) All other statutory clearances such as the approvals for storage of diesel from Chief Controller of Explosives, Fire and Rescue Services Department, Civil Aviation Department, Forest Conservation Act, 1980 and Wild Life (Protection) Act, 1972, State / Central Ground Water Authority, Coastal Regulatory Zone Authority, other statutory and other authorities as applicable to the project shall be obtained by project proponent from the

ENVIRONMENTAL CLEARANCE (EC)

concerned competent authorities

- 10) The Project proponent is requested to indicate the probable date of commissioning of the project supported with necessary bar charts
- 11) The structural design of the proposed building must be vetted by premier academic institutions like Anna University, IIT Madras, etc.,
- 12) The height and coverage of the constructions shall be in accordance with the existing FSI/FAR norms as per Coastal Regulation Zone Notification, 2011.

(B) Conditions for Construction Phase

- 13) No construction activity of any kind shall be taken up in the OSR area. Consent of the local body concerned shall be obtained for using the secondary treated sewage in the OSR area.
- 14) The construction of the structures & buildings of the project should be undertaken as per the plans approved by the concerned local authorities/local administration.
- 15) Adequate measures to reduce air and noise pollution during construction shall be adopted, conforming to norms prescribed by the TNPCB on noise limits.
- 16) The Project Proponent has earmarked 2.25 Ha of the site area for green belt development, which works out to 15 % of the total site area of 14.61 Ha. Plant / tree species with large potential for carbon capture shall be planted in the proposed green belt area based on the recommendation of the Forest department.
- 17) The entire water requirement during construction phase shall be met from Private Water Tankers, as committed.
- 18) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices prevalent.
- 19) STP (Design Capacity – 1.5 MLD) shall be constructed with treatment units such as Bar Screen chamber, Collection tank, Aeration tank, Settling tank, Filter press, Clarified water tank, Pressure sand filter, Activated

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carbon filter & UV treatment for the treatment of sewage generation from the project as proposed.

- 20) All the labourers to be engaged for construction should be screened for health and adequately treated before and during their employment on the work at the project site.
- 21) Provision shall be made for the housing labour within the site with all necessary infrastructures and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche etc. The housing may be in the form of temporary structures to be removed after the completion of the project.
- 22) A First Aid Room shall be provided in the project site during the entire construction phase of the project.
- 23) Adequate drinking water and sanitary facilities should be provided for construction workers at the site. The safe disposal of waste water and solid wastes generated during the construction phase should be ensured.
- 24) Personnel working in dusty areas should wear protective respiratory devices and they should also be provided with adequate training and information on safety and health aspects. Occupational health surveillance program of the workers should be undertaken periodically to observe any contractions due to exposure to dust and take corrective measures, if needed.
- 25) Periodical medical examination of the workers engaged in the project shall be carried out and records maintained. For the purpose, schedule of health examination of the workers should be drawn and followed accordingly. The workers shall be provided with personnel protective measures such as masks, gloves, boots etc.
- 26) The solid waste in the form of excavated earth excluding the top soil generated from the project activity shall be scientifically utilized for construction of approach roads and peripheral roads, as reported.
- 27) All the top soil excavated during construction activities should be stored for use in horticulture/ landscape development within the project site.

ENVIRONMENTAL CLEARANCE (EC)

- 28) Disposal of other construction debris during construction phase should not create any adverse effect on the neighboring communities and be disposed off only in approved sites, with the approval of Competent Authority with necessary precautions for general safety and health aspects of the people.
- 29) Construction spoils, including bituminous materials and other hazardous materials, must not be allowed to contaminate watercourses. The dump sites for such materials must be secured so that they should not leach into the adjacent land/ lake/ stream etc.
- 30) Low Sulphur Diesel shall be used for operating diesel generator sets to be used during construction phase. The air and noise emission shall conform to the standards prescribed in the Rules under the Environment (Protection) Act, 1986, and the Rules framed thereon.
- 31) The diesel required for operating stand by DG sets shall be stored in underground tanks and if required, clearance from Chief Controller of Explosives shall be taken.
- 32) Vehicles hired for bringing construction materials to the site should be in good condition and should conform to air and noise emission standards, prescribed by TNPCB/CPCB. The vehicles should be operated only during non-peak hours.
- 33) Ambient air and noise levels should conform to residential standards prescribed by the TNPCB, both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during the construction phase.
- 34) Fly- Ash bricks should be used as building material in the construction as per the provision of Fly ash Notification of September, 1999 and amended as on 27th August, 2003.
- 35) Ready-mix concrete of high quality should be used in building construction and necessary cub-tests should be conducted to ascertain their quality.
- 36) Storm water control and its re-use shall be as per CGWB and BIS standards for various applications.

ENVIRONMENTAL CLEARANCE (EC)

- 37) Fixtures for showers, toilet flushing and drinking water should be of low flow type by adopting the use of aerators / pressure reducing devices / sensor based control.
- 38) Use of glass shall be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, high quality double glass with special reflecting coating shall be used in windows.
- 39) Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material, to fulfill the requirement.
- 40) Opaque wall should meet prescribed requirement as per Energy Conservation Building Code which is mandatory for all air conditioned spaces by use of appropriate thermal insulation material to fulfill the requirement.
- 41) Lightning arrester shall be properly designed and installed at the top of the building and where ever is necessary.
- 42) Adequate fire protection equipments and rescue arrangements should be made as per the prescribed standards.
- 43) Proper approach road for fire-fighting vehicles and for rescue operations in the event of emergency shall be made.
- 44) All ECBC norms have to be adopted.

(C) Conditions for Operation Phase/Post Construction Phase

- 45) STP shall be operated effectively and continuously so as to achieve the discharge standards prescribed by TNPCB. The continuous operation of the STP shall be ensured even in case of power failure by providing DG set.
- 46) Treated sewage discharged from STP shall confirm to the discharge standards prescribed by TNPCB and it shall be recycled/reused to the maximum extent possible. Treatment of 100 % grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour and mosquito problem in the STP area.

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- 47) Adequate measures shall be taken to prevent odour emanating from solid waste processing plant and STP.
- 48) DG sets proposed as source of back-up power during operation phase shall be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets.
- 49) The acoustic enclosures shall be installed at all noise generating equipments such as DG sets, air conditioning systems, etc. and the noise level shall be maintained as per MoEF/CPCB/TNPCB guidelines/norms both during day and night time.
- 50) Rain water harvesting for surface run-off, as per plan submitted should be implemented. Before recharging the surface run off, pre-treatment with screens, settlers etc must be done to remove suspended matter, oil and grease, etc. 320 percolation pits shall be provided as committed. The percolation pits for rainwater recharging shall be kept at least 5 mts above the highest ground water table.
- 51) Application of solar energy should be incorporated for illumination of common areas, lighting for gardens and street lighting in addition to provision for solar water heating. A hybrids system or fully solar system for a portion of the apartments shall be provided.
- 52) Energy conservation measures like installation of CFLs/TFLs for lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Used CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible.
- 53) A report on the energy conservation measures conforming to energy conservation norms prescribed by the Bureau of Energy Efficiency shall be prepared incorporating details about building materials & technology; R & U factors etc and submitted to the SEIAA in three month's time.

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- 54) The building should have adequate distance between them to allow free movement of fresh air and passage of natural light, air and ventilation. Landscape plan to be revised accordingly.
- 55) Traffic congestion near the entry and exit points from the roads adjoining the proposed project site shall be avoided. Parking shall be fully internalized and no public space should be utilized. Parking plan should be as per MoEF norms.
- 56) A copy of the Environmental Clearance shall be issued to all the allottees while executing the allotment order/sale deed before handing over of the building to allottees.
- 57) The Plan prepared showing separate pipelines marked with different colour shall be prepared with the following details shall be given to all the allottees/owners while executing the allotment order/sale deed.
 - i. Location of STP, compost system, underground sewer line.
 - ii. Pipe Line conveying the treated effluent for green belt development.
 - iii. Pipe Line conveying the treated effluent for toilet flushing
 - iv. Water supply pipeline
 - v. Gas supply pipe line if proposed
 - vi. Telephone cable
 - vii. Power cable
 - viii. Strom water drain
 - ix. Rain water harvesting system
- 58) A First Aid Room shall be provided during operation of the project, with necessary equipments and life- saving medicines and should be manned all the 24 hours any day.
- 59) The capital budget of Rs 198 lakhs under CSR activity shall be used only for such activities as committed by the proponent for the purpose for which it was allotted.
- 60) The amount earmarked for Environmental Monitoring Plan [EMP] for construction and operation periods of capital cost Rs.1.75 crores and recurring cost of Rs. 35 lakhs per year shall be used as committed by the proponent.
- 61) Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it is found that

ENVIRONMENTAL CLEARANCE (EC)

construction of the project has been started without obtaining Environmental Clearance, and for any other action resulting in violation of any condition stipulated in the Environmental Clearance

Conditions for Entire life of the Project

- 1) The Proponent shall establish all common facilities in connection with the project such as sewage treatment plant, treated sewage disposal arrangements, solid waste management system, green belt development, rain water harvesting facility, environmental monitoring system etc as proposed before handing over the flats to all allottees. After establishment, the proponent himself shall maintain all common facilities for the entire life period (or) a viable society or an association among the allottees shall be formed to take responsibility of continuous maintenance of all common facilities with required agreements for compliance of all conditions furnished in Environment Clearance (EC) issued by the SEIAA-TN for the entire life period.
- 2) It shall be ensured that the fresh water requirement of quantity 1.05 MLD for the project during entire operation period shall be met from the local body as committed in the Affidavit.
- 3) It shall be ensured that the excess treated sewage/water of quantity 0.762 MLD shall be utilized for Avenue plantations maintained by local body after obtaining permission from local body concern after using the treated sewage/water for flushing requirement by providing dual plumbing system and using the treated sewage for green belt development within the project premises as committed in the Affidavit.
- 4) It shall be ensured that the 0.078 MLD treated sewage water disposed for green belt development/avenue plantation should not pollute the soil/ ground water/ adjacent canals/ lakes/ ponds, etc.
- 5) It shall be ensured that storm water drain provided at the project site shall be maintained without choking or without causing stagnation and should also ensure that the strom water shall be properly disposed off in the

ENVIRONMENTAL CLEARANCE (EC)

natural drainage/channels without disrupting the adjacent public. Adequate harvesting of storm water should be ensured.

- 6) It shall be ensured that necessary trenches for openings shall be provided at periodic intervals along the compound wall, so as to let out the storm water during rainy season, without stagnation/ ponding.
- 7) It shall be ensured that roof top run-off collected from the covered roof of the buildings, etc shall be scientifically harvested so as to ensure the maximum beneficiation of rain water harvesting. For this purpose, one collection sump (1x200 cum capacity) shall be provided as proposed for collection of roof top runoff water.
- 8) There shall be no drawal of ground water.
- 9) The Biodegradable solid waste, Non - Biodegradable solid waste, STP sludge, etc generated from the project activity shall be properly collected, segregated and disposed as committed, and as per the provision of Solid Waste (Management and Handling) Rules, 2000.
- 10) The Plastic wastes shall be segregated and disposed as per the provisions of Plastic Waste (Management & Handling) Rules 2011.
- 11) The E-waste generated shall be collected and disposed to the nearby authorized E-waste centre as per E-waste (Management & Handling), Rules 2011.
- 12) Spent oil collected from DG sets shall be stored in HDPE drums in an isolated covered facility and disposed as per the Hazardous Wastes (Management, Handling and Transboundary Movement) Rules 2008. Spent oil from DG sets shall be disposed off through registered recyclers.
- 13) Incremental pollution loads on the ambient air quality, noise and water quality shall be periodically monitored after commissioning of the project.
- 14) A separate environmental management cell with suitable qualified personnel shall be set-up under the control of a Senior Executive, who will report directly to the Head of the Organization.
- 15) The funds earmarked for environmental protection measures should be kept in separate account and should not be diverted for other purpose.

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Year wise expenditure should be reported to the MoEF and its Regional Office located at Chennai. Funds for CSR activity shall be allotted and used for that purpose and separate account shall be maintained.

- 16) The project proponent shall submit six - monthly reports (as on 1st June and 1st December of each calendar year) on the status of compliance of the stipulated environmental clearance conditions including results of monitored data (both in hard copies as well as by e-mail) to the Ministry of Environment and Forests, its Regional Office at Chennai, the Zonal Office of Central Pollution Control Board, SEIAA, TN and the State Pollution Control Board.
- 17) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, Chennai and TNPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sectoral parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
- 18) The SEIAA, TN reserves the right to add additional safeguard measures subsequently, if non-compliance of any of the EC conditions are found and to take action, including revoking of this EC as the case may be.
- 19) The SEIAA, TN may alter/modify the above conditions or stipulate any further condition in the interest of environment protection, even during the subsequent period.
- 20) The Regional Office of the MoEF located at Chennai shall monitor compliance of the stipulated conditions. The project authorities should extend full cooperation to the officer (s) of the Regional Office by furnishing the requisite data / information / monitoring reports.
- 21) Failure to comply with any of the conditions mentioned above may result in withdrawal of this Environmental Clearance and attract action under the provisions of the Environment (Protection) Act, 1986.

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- 22) The above conditions will be enforced inter-alia, under the provisions of the Water (Prevention & Control of Pollution) Act, 1974, the Air (Prevention & Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986, the Public Liability Insurance Act, 1991, along with their amendments, draft Minor Mineral Conservation & Development Rules, 2010 framed under MMDR Act 1957, National Commission for protection of Child Right Rules, 2006 and rules made there under and also any other orders passed by the Hon'ble Supreme Court of India/Hon'ble High Court of Madras and any other Courts of Law, including the Hon'ble National Green Tribunal relating to the subject matter.
- 23) Environmental clearance is subject to final order of the Hon'ble Supreme Court of India in the matter of Goa foundation Vs. Union of India in Writ petition (Civil) No 460 of 2004 as may be applicable to this project.
- 24) This Environmental Clearance does not imply that the other statutory / administrative clearances shall be granted to the project by the concerned authorities. Such authorities would be considering the project on merits and be taking decisions independently of the Environmental Clearance.
- 25) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the TNPBCB as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of environmental clearance conditions and shall also be sent to the Regional Office of the MoEF, Chennai by e-mail.
- 26) The SEIAA, TN may cancel the environmental clearance granted to this project under the provisions of EIA Notification, 2006, if, at any stage of the validity of this environmental clearance, if it is found or if it comes to the knowledge of this SEIAA, TN that the project proponent has deliberately concealed and/or submitted false or misleading information or inadequate data for obtaining the environmental clearance.
- 27) It is mandatory for the Project proponent to furnish to the SEIAA, Half yearly compliance report in Hard and Soft copies on 1st June and 1st

ENVIRONMENTAL CLEARANCE (EC)

December of each calendar year in respect of the conditions stipulated in the prior Environmental Clearance


MEMBER SECRETARY
SEIAA-TN

Copy to:-

1. The Principal Secretary to Government,
Environment & Forests Department,
Govt. of Tamil Nadu, Fort St. George,
Chennai – 600 009.
2. The Chairman,
Central Pollution Control Board,
Parivesh Bhavan, CBD Cum-Office Complex,
East Arjun Nagar, New Delhi 110032.
3. The Member Secretary,
Tamil Nadu Pollution Control Board,
76, Mount Salai, Guindy, Chennai - 600 032.
4. The ACCF(C), Regional Office of MoEF,
34, HEPC Building, 1 & 2nd Floors,
Cathedral Garden Road, Nungampakkam, Chennai - 600 034.
5. Monitoring Cell, I A Division, Ministry of Environment & Forests,
Parivarjan Bhavan, CGO Complex, New Delhi 110003.
6. The District Collector, Chennai district.
7. Stock File.

Annexure 4

**Online upload of EC, Form V, Compliance
Report with Annexures**

shriramproperties.com/residential-property/shriram-shankari

Incognito All Bookmarks

XML-Stamp: Twin Integration - Toolkit 1004/creat...

Shriram Properties
Homes that live in you

OUR STORY PROJECTS Search A member of The Shriram Group

Overview Location Amenities Gallery

RERA Number : Joy at Shriram Temple Bells - TN/01/BUILDING/D123/2018; TN/01/BUILDING/0024/2018
Lakeside Residences at Shriram Shankari and Codename 24 Keral - TN/01/BUILDING/0415/2021

Environmental Clearance — 01 Apr 2015 Environmental Statement — 10 May 2025

Location Highlights

10 mins GST Road

15 mins Guduvanchery railway station

Shriram Shankari Apartments
Modis, Perumathura Road, Guduvanchery, Tamil Nadu 600102
4.1  694 reviews
[View larger map](#)

[Directions](#) [Download Brochure](#)

Map showing the location of Shriram Shankari Apartments in Guduvanchery, Tamil Nadu.

TOP

Annexure 5
Consent to Establishment (CTE)

CONSENT ORDER NO. 17012930386

DATED: 18/07/2017.

PROCEEDINGS NO.T5/TNPCB/F.0594MMN/RL/MMN/A/2017 DATED: 18/07/2017

SUB: TNPC Board-Consent for Establishment-M/s. SHRIPROP STRUCTURES PVT LTD , S.F. No. 16/4A, 4B, 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B, 1C; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90; 95/4, PERUMPATTUNALLUR village, Chengalpattu Taluk and Kancheepuram District - for the establishment or take steps to establish the industry under Section 21 of the Air(Prevention and control of Pollution)Act,1981, as amended in 1987(Central Act. 14 of 1981)-Issued -Reg.

REF: 1. Unit's CTE application dated 03.10.2015
2.IR.No : F.0594MMN/RL/DEE/MMN/2017 dated 10/07/2017
3. Minutes of 153rd TSC meeting held on 14.07.2017 vide agenda item no. 153 - 08

Consent to establish or take steps to establish is hereby granted under Section 21 of the Air (Prevention and control of Pollution) Act,1981, as amended in 1987 and the Rules and Orders made there under to

AUTHORISED SIGNATORY,

M/s . SHRIPROP STRUCTURES PVT LTD

S.F No.16/4A, 4B, 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B, 1C; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90; 95/4,

PERUMPATTUNALLUR Village,

Chengalpattu Taluk,

Kancheepuram District.

Authorizing occupier to establish or take steps to establish the industry in the site mentioned below:

S.F No. 16/4A, 4B, 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B, 1C; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90; 95/4,

PERUMPATTUNALLUR Village,

Chengalpattu Taluk,

Kancheepuram District.

This Consent to establish is valid upto **March 31, 2024**, or till the industry obtains consent to operate under Section 21 of the Air (Prevention and control of Pollution) Act, 1981, as amended in 1987 whichever is earlier subject to special and general conditions enclosed.

D. SEKAR

Digitally signed by D. SEKAR
DN: c=IN, o=TAMILNADU POLLUTION CONTROL
BOARD, ou=ENGINEERING DEPARTMENT,
postalCode=600032, st=Tamil Nadu
2.5.4.20=d516704338b0e9c56eff9e70df4570859
2d46dc2f0d76e4a6b6f993d59bdf, cn=D. SEKAR
Date: 2017.07.19 10:23:01 +05'30'

Member Secretary,
Tamil Nadu Pollution Control Board,
Chennai

To
AUTHORISED SIGNATORY,
M/s.SHRIPROP STRUCTURES PVT LTD,
PERUMATTUNALLUR VILLAGE, CHENGALPAT TALUK, KANCHEEPURAM DISTRICT, TAMILNADU.,
Pin: 603202

Copy to:

- 1.The Commissioner, KATTANKULATHUR-Panchayat Union, Chengalpattu Taluk, Kancheepuram District .
2. The District Environmental Engineer, Tamil Nadu Pollution Control Board, MARAIMALAI NAGAR.
3. The JCEE-Monitoring, Tamil Nadu Pollution Control Board, Chennai.
4. File

SPECIAL CONDITIONS

1. This consent to establish is valid for establishing the facility for the manufacture of products/byproducts (Col. 2) at the rate (Col 3) mentioned below. Any change in the product/byproduct and its quantity has to be brought to the notice of the Board and fresh consent has to be obtained.

Sl. No.	Description	Quantity	Unit
Product Details			
1.	RESIDENTIAL COMPLEX AT PERUMATTUNALLUR VILLAGE, CHENGALPAT TALUK, KANCHEEPURAM DISTRICT, TAMILNADU COMPRISING OF 27 TOWERS ENCOMPASSING 2254 RESIDENTIAL UNITS AND CLUB HOUSE WITH TOTAL BUILT UP AREA OF 267677.02 SQM.	2254	RESIDENTIAL UNITS AND CLUB HOUSE WITH TOTAL BUILT UP AREA OF 267677.02 SQM.
By-Product Details			
1.	NO BY-PRODUCTS	0	----
Intermediate Product Details			
1.	NO INTERMEDIATE PRODUCTS	0	-----

2. This consent to establish is valid for establishing the facility with the below mentioned emission/noise sources along with the control measures and/or stack .Any change in the emission source/control measures/change in stack height has to be brought to the notice of the Board and fresh consent has to be obtained if necessary.

I	Point source emission with stack :			
Stack No.	Point Emission Source	Air pollution Control measures	Stack height from Ground Level in m	Gaseous Discharge in Nm3/hr
001	DG SET 62.50 KVA	Acoustic enclosures with stack	16.95	
002	DG SET 62.50 KVA	Acoustic enclosures with stack	16.95	
003	DG SET 62.50 KVA	Acoustic enclosures with stack	16.95	
004	DG SET 62.50 KVA	Acoustic enclosures with stack	16.95	
005	DG SET 82.50 KVA	Acoustic enclosures with stack	16.95	
006	DG SET 82.50 KVA	Wet scrubber with stack	16.95	
007	DG SET 82.50 KVA	Acoustic enclosures with stack	16.95	
008	DG SET 82.50 KVA	Acoustic enclosures with stack	16.95	
009	DG SET 82.50 KVA	Acoustic enclosures with stack	16.95	
010	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
011	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
012	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
013	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
014	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
015	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
016	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
017	DG SET 125 KVA	Acoustic enclosures with stack	26.3	

018	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
019	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
020	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
021	DG SET 125 KVA	Acoustic enclosures with stack	26.3	
022	DG SET 125 KVA	Acoustic enclosures with stack	26.3	

II Fugitive/Noise emission :

Sl. No.	Fugitive or Noise Emission sources	Type of emission	Control measures	
1.	DG SET - RUNNING - 62.50 KVA - 4 NO'S	Noise	ACCOUSTIC ENCLOSURE	
2.	DG SET RUNNING - 82.50 KVA - 5 NO'S	Noise	ACCOUSTIC ENCLOSURE	
3.	DG SET RUNNING - 125.0 KVA - 13 NO'S	Noise	ACCOUSTIC ENCLOSURE	

3. Additional Conditions:

1. The unit shall furnish the proposal for green belt development 25 % of plot area (400 trees/Hec) comprising of tall trees (min. 2m height) and various species according to local soil conditions in consultation with local DFO / Horticulture Department / Authorised Consultant. The layout map indicating the green belt details shall be furnished.
2. The unit shall develop and maintain 431 trees within the unit premises in the OSR area, at the rate of 400 trees/hectare to develop 1.09 hectare as green belt area.
3. The unit shall furnish in NOC from Tamilnadu Fire and Rescue department and Airport Authority.
4. The unit shall provide solar panels made of RoHs standards materials for street lighting.
5. The unit shall provide solar panels made of RoHs standards materials for residential premises to the extent possible

D. SEKAR

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 BOARD, ou=ENGINEERING DEPARTMENT,
 postalCode=600032, st=Tamil Nadu,
 2.5.4.2.0=0f51670f438b0e9c56ee9e70df4570859
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 Date: 2017.07.19 10:24:25 +05'30'

**Member Secretary,
 Tamil Nadu Pollution Control Board,
 Chennai**

GENERAL CONDITIONS

1. This consent to establish cannot be construed as consent to operate and the unit shall not commence the operation without obtaining the Consent to operate.
2. The applicant shall make a request for grant of consent to operate at least thirty days, before the commissioning of trial production.
3. Any Change in the details furnished in the conditions has to be brought to the notice of the Board and got approved by the Board, before obtaining consent to operate under the said Act.
4. The unit has to comply with the provisions of Public Liability Insurance Act, 1991 to provide immediate relief in the event of any hazard to human beings, other living creatures/plants and properties while handling and storage of hazardous substances (wherever applicable).
5. Consent to operate will not be issued unless the unit complies with the conditions of consent to establish.
6. The unit shall provide adequate water sprinklers for the control of dust emission during the loading and unloading of construction material so as to minimize the dust emission.
7. The unit shall provide water sprinklers along the temporary roads inside the premises to avoid fugitive dust emission during the vehicle movements.
8. The unit shall develop green belt of adequate width around the premises.
9. In case there is any change in the management, the unit shall inform the change with relevant documents immediately.

D. SEKAR

Digitally signed by D. SEKAR
DN: c=IN, o=TAMILNADU POLLUTION CONTROL
BOARD, ou=ENGINEERING DEPARTMENT,
email=dsekars@tncb.tn, cn=D. SEKAR
25.4.20-0916704338b09c4570d70d45708592d
46dc2f0a76a4ab9b69093d595ed, cn=D. SEKAR
Date: 2017.07.19 10:25:55 +05'30'

Member Secretary,
Tamil Nadu Pollution Control Board,
Chennai

CONSENT ORDER NO. 17011930386

DATED: 18/07/2017.

PROCEEDINGS NO.T5/TNPCB/F.0594MMN/RL//MMN/W/2017 DATED: 18/07/2017

SUB: TNPC Board-Consent for Establishment-M/S SHRIPROP STRUCTURES PVT LTD S.F No. 16/4A, 4B, 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B, 1C; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90; 95/4, PERUMPATTUNALLUR Village, Chengalpattu Taluk, Kancheepuram District - for the establishment or take steps to establish the industry under Section 25 of the Water (Prevention and control of Pollution)Act,1974, as amended in 1988(Central Act 6 of 1974)- Issued- Reg.

REF: 1. Unit's CTE application dated 03.10.2015

2.IR.No : F.0594MMN/RL/DEE/MMN/2017 dated 10/07/2017

3. Minutes of 153rd TSC meeting held on 14.07.2017 vide agenda item no. 153 - 08

Consent to establish or take steps to establish is hereby granted under Section 25 of the Water (Prevention and control of Pollution) Act,1974, as amended in 1988(Central Act 6 of 1974) (hereinafter referred to as 'The Act') and the Rules and Orders made there under to

AUTHORISED SIGNATORY,

SHRIPROP STRUCTURES PVT LTD

Authorizing occupier to establish or take steps to establish the industry in the site mentioned below:

S.F. No.16/4A, 4B, 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B, 1C; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90; 95/4,

PERUMPATTUNALLUR Village,

Chengalpattu Taluk,

Kancheepuram District.

This Consent to establish is valid upto **March 31, 2024**, or till the industry obtains consent to operate under Section 25 of the Water (Prevention and control of Pollution) Act, 1974, as amended in 1988 whichever is earlier subject to special and general conditions enclosed.

D. SEKAR

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DN: c=IN, o=TAMILNADU POLLUTION CONTROL
BOARD, ou=ENGINEERING DEPARTMENT,
postalCode=600032, st=Tamil Nadu,
2.5.4.20=0f5167049438b0e9c56ee9e70df4570859
2d46dc2f0a70e4a6b6f09093d39bdf, cn=D. SEKAR
Date: 2017.07.19 10:20:58 +05'30'

Member Secretary,
Tamil Nadu Pollution Control Board,
Chennai

To

AUTHORISED SIGNATORY,

M/s.SHRIPROP STRUCTURES PVT LTD,

PERUMATTUNALLUR VILLAGE, CHENGALPAT TALUK, KANCHEEPURAM DISTRICT, TAMILNADU.,

Pin: 603202

Copy to:

1.The Commissioner, KATTANKULATHUR-Panchayat Union, Chengalpattu Taluk, Kancheepuram District .

2. The District Environmental Engineer, Tamil Nadu Pollution Control Board, MARAIMALAI NAGAR.

3. The JCEE-Monitoring, Tamil Nadu Pollution Control Board, Chennai.

4. File

SPECIAL CONDITIONS

1. This consent to establish is valid for establishing the facility for the manufacture of products/byproducts (Col. 2) at the rate (Col 3) mentioned below. Any change in the product/byproduct and its quantity has to be brought to the notice of the Board and fresh consent has to be obtained.

Sl. No.	Description	Quantity	Unit
Product Details			
1.	RESIDENTIAL COMPLEX AT PERUMATTUNALLUR VILLAGE, CHENGALPAT TALUK, KANCHEEPURAM DISTRICT, TAMILNADU COMPRISING OF 27 TOWERS ENCOMPASSING 2254 RESIDENTIAL UNITS AND CLUB HOUSE WITH TOTAL BUILT UP AREA OF 267677.02 SQM.	2254	RESIDENTIAL UNITS AND CLUB HOUSE WITH TOTAL BUILT UP AREA OF 267677.02 SQM.
By-Product Details			
1.	NO BY-PRODUCTS	0	----
Intermediate Product Details			
1.	NO INTERMEDIATE PRODUCTS	0	-----

2. The unit shall provide Sewage Treatment Plant and /or Effluent Treatment Plant as indicated below.

a	Sewage Treatment Plant:
	Treatment status: Individual STP

SL. No.	Name of the Treatment Unit	No. of Units	Dimensions in metres
1.	STP MODULE 1	1	800 KLD
2.	M1 - 1 COLLECTION CUM EQUILISATION TANK - 1	1	12.40 X 3.50 X 3.30
3.	M1 - 2 HUASBR	1	12.50 X 5.00 X 6.50
4.	M1 - 3 AERATION TANK - 1 (MBBR-1)	1	12.50 X 7.00 X 5.00
5.	M1 - 4 SETTLING TANK - 1	1	12.50 X 3.00 X 4.00
6.	M1 - 5 CLARIFIED WATER TANK - 1(FILTER FEED SUMP1)	1	7.40 X 3.50 X 3.30
7.	M1 - 6 SLUDGE HOLDING TANK (COMMON TO ALL MODULES)	1	12.50 X 1.00 X 3.30
8.	M1 - 7 PRESSURE SAND FILTER	2	1.80 DIA X 1.80 HT
9.	M1 - 8 ACTIVATED CARBON FILTER	2	1.80 DIA X 1.80 HT
10.	M1 - 9 FILTER PRESS	3	500 LPH
11.	M1 - 10 UV DISINFECTION SYSTEM	1	40 M3/HR
12.	STP MODULE 2	1	350 KLD
13.	M2 - 1 COLLECTION CUM EQUILISATION TANK 2	1	4.00 X 4.00 X 3.30
14.	M2 - 2 AERATION TANK 2 (MBBR 2)	1	8.00 X 4.00 X 5.00
15.	M2 - 3 SETTLING TANK 2	1	4.00 X 3.00 X 4.00
16.	M2 - 4 CLARIFIED WATER TANK 2 (FILTER FEED SUMP 2)	1	4.00 X 4.00 X 3.30
17.	M2 - 5 PRESSURE SAND FILTER	1	1.80 DIA X 1.80 HT
18.	M2 - 6 ACTIVATED CARBON FILTER	1	1.80 DIA X 1.80 HT
19.	M2 - 7 FILTER PRESS	2	500 LPH
20.	M2 - 8 UV DISINFECTION SYSTEM	1	20 M3/HR
21.	STP MODULE 3	1	350 KLD
22.	M3 - 1 COLLECTION CUM EQUILISATION TANK - 3	1	4.00 X 4.00 X 3.30
23.	M3 - 2 AERATION TANK 3 (MBBR 3)	1	8.00 X 4.00 X 5.00

24.	M3 - 3 SETTLING TANK 3	1	4.00 X 3.00 X 4.00
25.	M3 - 4 CLARIFIED WATER TANK 3 (FILTER FEED SUMP 3)	1	4.00 X 4.00 X 3.30
26.	M3 - 5 PRESSURE SAND FILTER	1	1.80 DIA X 1.80 HT
27.	M3 - 6 ACTIVATED CARBON FILTER	1	1.80 DIA X 1.80 HT
28.	M3 - 7 FILTER PRESS	2	500 LPH
29.	M3 - 8 UV DISINFECTION SYSTEM	1	20 M3/HR

b | Effluent Treatment Plant:

Treatment status: No trade effluent and hence does not arise

SL. No.	Name of the Treatment Unit	No. of Units	Dimensions in metres
1.			
2.			
3.			

3. This consent to establish is valid for establishing the facility with the below mentioned outlets for the discharge of sewage/trade effluent. Any change in the outlets and the quantity has to be brought to the notice of the Board and fresh consent has to be obtained.

Outlet No.	Description of Outlet	Maximum daily discharge in KLD	Point of disposal
Effluent Type : Sewage			
1.	TREATED SEWAGE FROM STP	530.0	RECYCLED FOR TOILET FLUSHING
2.	TREATED SEWAGE FROM STP	78.0	REUSED FOR GREEN BELT DEVELOPMENT
3.	TREATED SEWAGE FROM STP	762.0	HANDED OVER TO LOCAL BODY FOR AVENUE PLANTATIONS IN OSR GREEN BELT AREA OF THE LOCAL BODY
Effluent Type : Trade Effluent			

4. **Additional Conditions:**

1. The unit shall not commission the project without obtaining CTO from the board.
2. The unit shall furnish planning permission to the Board as obtained from the competent authority.
3. The unit shall furnish building permit to the Board as obtained from the competent authority.
4. The unit shall provide 1x 350 KLD & 1 x 800 KLD capacity of Sewage Treatment Plant as proposed to treat the sewage to be generated so as to achieve the standards prescribed by the Board.
5. The unit shall utilize the treated waste water for Toilet flushing, gardening/green belt development and for avenue plantation as proposed after satisfying the standards prescribed by the Board.
6. The unit shall ensure that the emission from DG set shall satisfy the Ambient Air Quality/Emission/ANL standards prescribed by the Board.
7. The unit shall provide organic waste converter facility (OWC) of sufficient capacity to handle 4.06 T/day for composting the entire quantity of organic waste generated from its premises as proposed.
8. The unit shall provide the Electro Magnetic Flow meter EMFMs with automatic recorder and display arrangement at the inlet/outlet of STP and at the disposal points of the treated sewage for gardening, toilet flushing.
9. The unit shall provide energy meter for the continuous operation of STP.
10. The unit shall not clean the STP tanks manually and it should be carried out only by mechanical system.
11. The unit shall utilize the sludge generated from the STP as manure for gardening.
12. The unit shall comply with the conditions imposed in the environmental clearance obtained from SEIAA, Tamil Nadu vide Letter No SEIAA /TN/F.1447 /EC/8(b) / 399/2013 Dated: 01.04.2015.
13. The unit shall furnish the building completion certificate issued by the competent authority while applying for CTO.
14. The unit shall not draw ground water under any circumstances at any point of time as reported
15. The unit shall furnish the authenticated layout plan indicating the extent of land, survey nos. and location of the land at which treated sewage as per hydraulic loading rate @ 35 KL/Hec is to be utilized for development of gardening / green belt development.
16. The unit shall provide Electromagnetic flow meter with computer recording and display arrangements at the raw water receipt and shall maintain logbook for the same.
17. The unit shall furnish a commitment to execute an agreement for Annual Maintenance Contract (AMC) towards maintaining and operating the STP for a minimum period of five years with the Association of the occupants after the building project has been handed over.
18. The unit shall furnish an under taking to provide a separate Energy Meter for STP and to record the daily usage of power to ensure 24 x 7 functioning of STP.
19. The unit shall furnish an under taking to ensure that the transportation of treated sewage to the nearby STPs {with adequate capacity which is operated within Chennai by CMWSSB and STPs operated by local bodies except Chennai} will be done only authorized through tankers.
20. The unit shall ensure that roof rain water run-off collected from the covered roof of the buildings etc., shall be scientifically harvested so as to ensure maximum beneficiation of Rain Water Harvesting.
21. The unit shall comply with the environmental conditions stipulated in the MoEF Notification dated 09.12.2016 in respect of Topography and Natural Drainage, Water conservation - Rain Water Harvesting, and Ground Water Recharge, Solid Waste Management, Sewage Treatment Plant, Energy, Air Quality and Noise, Green Cover, Top Soil Preservation and Reuse, Transport, Environment Management Plan

D. SEKAR

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 BOARD, ou=ENGINEERING DEPARTMENT,
 portalCode=600032, st=Tamil Nadu,
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**Member Secretary,
 Tamil Nadu Pollution Control Board,
 Chennai**

GENERAL CONDITIONS

1. This consent to establish cannot be construed as consent to operate and the unit shall not commence the operation without obtaining the Consent to operate.
2. The applicant shall make a request for grant of consent to operate at least thirty days, before the commissioning of trial production.
3. Any Change in the details furnished in the conditions has to be brought to the notice of the Board and got approved by the Board, before obtaining consent to operate under the said Act.
4. The unit has to comply with the provisions of Public Liability Insurance Act, 1991 to provide immediate relief in the event of any hazard to human beings, other living creatures/plants and properties while handling and storage of hazardous substances (wherever applicable).
5. Consent to operate will not be issued unless the unit complies with the conditions of consent to establish.
6. The unit shall provide adequate water sprinklers for the control of dust emission during the loading and unloading of construction material so as to minimize the dust emission.
7. The unit shall provide water sprinklers along the temporary roads inside the premises to avoid fugitive dust emission during the vehicle movements.
8. The unit shall develop green belt of adequate width around the premises.
9. In case there is any change in the management, the unit shall inform the change with relevant documents immediately.

D. SEKAR

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BOARD, ou=ENGINEERING DEPARTMENT,
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592446dc2f0a76e1a4b6f9093d59bdf, cn=D.
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Member Secretary,
Tamil Nadu Pollution Control Board,
Chennai

Annexure 6

Structural Stability Certificate

STABILITY CERTIFICATE

This is to certify that vetting of Structural Analysis & Design of Proposed residential project of Shriprop Structures Private Limited located in S.F. No. 16/4A, 4B, 65/4 (4A), 5A, 65/5B, 76/4, 5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1, 2, 79/1, 2, 80/1, 2, 81/1, 2, 82, 83, 85, 86/1B, 1C, 2A, 2B, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90, 95/4 (4A), in Perumattunallur Village, Vandalur Taluk, Chengalpattu Dist.

Structure designed as per following specifications,

01	No. of stories - Height above ground level	Tower 8&27- Stilt + 7 floors
		Tower 10&14 - Ground Floor + 6 floor
02	No. of basement floors / Depth below ground level	Nill
03	Regularity of the Building - Regular / Irregular building in plan Aspect Ratio	Regular
04	Horizontal floor system	RCC Beam, RCC Slab
05	Reference codes adopted for 1) Dead, Live & Wind Load 2) Concrete & Steel Design 3) Foundation Design 4) Earthquake & Detailing	IS 875 PART2 & PART 3 IS 456 & IS 800 IS 1904 – 1986 IS 1893 & IS 13920
06	Concrete Grade 1) Foundation (Pile Foundation) 2) Superstructure	M25 M35
07	Concrete Type RMC / Design Mix / Volumetric Batching	Design Mix
08	Steel Grade 1) Rebar 2) Tendon Wire Diameter / No. of Strands	Rebar, Fe500



09	Clear Cover Footing sides /Footing bottom / Column / Beam / Slab	75 mm / 50 mm / 40 mm / 25 mm / 15 mm
10	Quality of water used for Construction	Good
11	Safe Bearing Capacity	400Kn/Sq. m. As per soil test report
12	Type of foundation adopted Column footing / Raft / Pile	Isolated/combined footing
14	Seismic Zone	Zone III
15	Importance Factor	1.2
16	Type of Structure	RCC framed

The structure has been proposed to be constructed as per the design and details mentioned in the drawing. Hence, I hereby certify that the structural arrangements, structural member sizes and reinforcement provided are adequate for the load considered in the design.

For Sankar & Associates,



(S.Murugesu)

S. MURUGESU, M.E, P.I.E,
 Chartered Engineer F-1279323
 Structural Engineer Grade-I
 CMDA/SE/GR-I/2022/05/320

Annexure 7
Fire NOC and License



K.Dis.No.5594/C1/2025
Dated.05.05.2025

O/o.the Director of Fire & Rescue Service,
No.17, Rukmani Lakshmi Pathi Salai,
Egmore, Chennai 600 008.

Licence No.316/2025 (Issue)

Ref: (1) Online Application from the **M/s. Shriprop Structures Private Limited, Shriram Shankari, Chengalpattu, Online Token No.277145**, Dated:07.04.2025.

(2) Letter R.C.No.1358/C/2025, dated:24.04.2025 from the Chairman, MSB Inspection Committee, **North-Western Region, Vellore**.

With reference to the letter first cited above the Fire Licence is **issued** as under, based on the recommendations conveyed in the reference 2nd cited above.

FIRE & RESCUE SERVICES LICENCE

The Fire Licence is hereby **issued** under section 13 of the Tamil Nadu Fire and Rescue Service Act 1985 for the multi-storied building classified as **Group A Residential Building Sub-Division A-4 Apartment Houses of M/s. Shriprop Structures Private Ltd, Shriram Shankari, Block No.26** consists of stilt floor + 7 floors with a equal height of 23.90 meters at S.F.No.16/4A,4B, 65/4,5A, 5B,76/4,5, 77/1A, 1B, 2B, 2C1 (A, B, C, D, E, F), 2C2, 3A, 3B, 78/1, 2, 80/1, 2, 81/1, 2, 82, 83, 85, 86/1B, 1C, 2A, 2B, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90, 95/4, Perumattunallur Village, Chengalpet District subject to the following conditions and such other conditions as may be prescribed from time to time. This licence is valid for **THREE YEARS** from the date of issue from **05.05.2025 to 04.05.2028** and should be renewed on **05.05.2028**.

CONDITIONS

1. Periodical maintenance should always be ensured to keep all fire protection equipment and systems in good working condition.

2. "Mock drill" should be periodically conducted. The date of conduct should be informed to the District Officer, Chengalpet District well in advance to enable the team to make suggestions, if any.
3. Trained fire personnel should be available to operate the systems in case of any emergency.
4. All fire fighting equipment should always be kept in good working condition at all times.
5. Any erection of a permanent or temporary structure should be intimated to this Fire and Rescue Services Department.
6. With reference to air-conditioning it should not exceed the electricity board load on any account.
7. Available set back area 7 meters on all sides should be maintained to withstand the weight of 45 tons of fire fighting vehicle.
8. House keeping / dumping of waste material anywhere should be avoided. Dust bins should be cleared every day.
9. Emergency fire exit, door should open from the floor to staircase only and not the other way round. The door should be in red reflector & arrow marks should commensurate with the gradient of staircase.
10. Do's & don'ts in times of emergencies should be available in a laminated hanging pad or otherwise in the telephone operator's desk as well as in the CE or emergency in charge of the officer's desk.
11. Alternate staircase should be kept free without any obstruction.
12. All staircases should be kept open during office hours and should be kept usable at any point of emergency.
13. Fire order / contingency plan should be prepared and displayed in each floor. It should also contain the rescue team members name, designation and contact number.
14. As per section 3.2 of BIS 12459, 1988 - code of practice for fire safety in cable regularization, 1m transparent fire retardant coatings shall be applied to all cables at termination points in electrical panels and all cables inside the distribution boxes.

[Signature] for Director, b-5-28
Fire and Rescue Services,
Tamil Nadu.

To:

M/s. Shriprop Structures Private Ltd, Shriram Shankari,
S.F.No.16/4A,4B, 65/4,5A, 5B,76/4,5, 77/1A, 1B,
2B, 2C1 (A, B, C, D, E, F), 2C2, 3A, 3B, 78/1, 2, 80/1,
2, 81/1, 2, 82, 83, 85, 86/1B, 1C, 2A, 2B, 87/1A, 1B1,
1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B,
90, 95/4, Perumattunallur Village, Chengalpet District.



Copy to

The Deputy Director, Fire and Rescue Services,
North-Western Region, Vellore.



TAMIL NADU FIRE AND RESCUE SERVICES DEPARTMENT

From

R.C.Kudawla , IPS,
Director,
Fire and Rescue Services,
No. 1, Greems Road,
Chennai – 6.

To

M/s **Structures Pvt Shriprop Ltd**,
Lakshmi Neela Rite Choice Chamber,
1st Floor, New No. 9, Bazullah Road,
T.Nagar, Chennai – 600 017.

K.Dis.No.20369/C1/2013
PP.NOC . No.165 /2013

Dated.19 .12.2013

Sir,

Sub: Tamil Nadu Fire and Rescue Services – Directorate -
High Rise Building – Inspection at
M/s Shriprop Structures Pvt Ltd,
S.F.No.16/4A,4B,65/4, 5A, 5B,76/4,5, 77/1A,
1B,2B,2C1(A,B,C,D,E,F) 2C2,3A,3B,78/1,2,80/1,2,
81/1,2,82,83,85,86/1B, 1C,2A,2B,87/1A,1B1,1B2,
2A,2B,2C,88/1,2,3,89/2,3A,3B,3C,4A,4B,90,95/4,
Perumattunallur Village, Chengalpet Taluk,
Kanchipuram District - NOC for Planning
Permission – Reg.

Ref: 1). Your Letter No. SSPL-SS/TNFRS/001
dated on 23.10.2013.
2). The Deputy Director North Western Region,
Rc.No. 4252/A2/2013 dated: 26.11.2013

With the reference to the letter cited above, I wish to state that MSB Inspection committee of North Western Region has inspected the site at M/s Shriprop Structures Pvt Ltd, S.F.No.16/4A,4B,65/4, 5A, 5B,76/4,5,77/1A,1B,2B,2C1(A,B,C,D,E,F) 2C2,3A,3B,78/1,2,80/1,2,81/1,2,82,83,85,86/1B, 1C, 2A, 2B,87/1A,1B1,1B2,2A,2B,2C,88/1,2,3,89/2,3A,3B,3C,4A,4B,90,95/4,Perumattunallur Village, Chengalpet Taluk, Kanchipuram District for which NOC has been requested and the committee has made certain observations as regards Fire and Safety, which are reproduced below:-

Observation:-

It is a group residential buildings planning proposal proposed by M/s Sriprop Structures Pvt Ltd consists of Towers 8,9,10,11,13,15,21,22,23,24,25,26 and Tower 27 Club Houses 1,2,Shop. Tower 10 and Tower 14 consists of Ground + 6 Floors with the height of 20.90 mtrs. Towers 8,9,11,13,15,21,22,23,24,25,26 and Tower 27 consists of Stilt + 7 floors with the height of 23.90 mtrs. Club House 1,2 and Shop consists of Ground Floor + 1st Floor + 1st Floor. The plot area is 146160.07 sq.mtrs and the total buildup area is 105566.55 sq.mtrs. The proposal has the side setbacks provision of more than 7 mtrs all around the building and in between the blocks. The proposed occupancy is classified to comes under Group A Residential Building and the Sub division A-4 Apartment Houses as per the National Building code of India Part IV Fire and Life Safety – 2005.

Since they are Group Residential buildings the following Fire and Life Safety measures should be provided in the proposed building before the actual occupation.

- (1). There should be a Wet-riser per 1000 square meter area covering all floor area with landing valves along with delivery hoses for each block. The riser should be fully charged with adequate pressure at all times & should have both automatic and manual operation. To feed the wet-riser and yard hydrant systems two pump houses should be provided separately. For the towers 8, 9, 10, 11, 13, 14, 15 and Club house 1, a separate pump house should be provided containing underground static water tank of minimum capacity 200000 liters with refilling facilities. For the towers 21, 22, 23, 24, 25, 26 Tower 27 club house 2 and shop, a separate pump house should be provided containing underground static water tank of minimum capacity 200000 liters with refilling facilities. A terrace level tank of capacity 10000 liters also should be provided for each tower separately. In every pump house to charge the wet-riser system and the the yard hydrant system two electrical pump of capacity 2850 LPM should be provided near the underground water tank. An equal capacity of diesel generator pump should also be provided as an alternative arrangement in every pump house. The pumps should have the capacity of developing pressure of 3.5 kg/cm at terrace level hydrant point. One more electrvical pump of capacity of 180 LPM should be provided as a jockey pump for every pump house.

- (2). Fire Service inlets fitted with NRV at ground level.
- (3). Hose reel assembly should be provided per 1000 sq.mtrs covering each floor area.
- (4). Yard Hydrant should be provided at all around the building at 30 mtrs interval.
- (5). Manually operated fire alarm call points should be provided in each floor near exit door.
- (6). "EXIT" Signages should be provided with alternative source of power supply or battery back-up with "GLOW" TYPE.
- (7). Emergency Lights should be provided at staircase landing and exit routes.
- (8). Number of Ramp, Exit, location and its width should be conforms to the requirements of National Building Code of India Second Revision Part IV 2005.
- (9). Compartmentation should be made in floors to check the spread of fire and smoke
- (10). Two numbers of Staircase should be provided that should be away from each other.
- (11). One Fire Lift should be provided for evacuation.
- (12). The first aid fire fighting equipments should be provided at all floors in accordance with the IS 2190:1992 requirements.
- (13). Electrical Installation and wiring, Ducts should meet the requirements of NBC of India, Part 4, Second Revision 2005.
- (14). The width and height of any arch or gate, if any, should have the clearance of not less than 4.5 and 5m respectively.
- (15). The Compulsory open space of 7m all around the building should be designed to withstand a weight of 45tons at any point of operation for the use of Hydraulic platform vehicle.
- (16). The service ducts such as power cables, communication cables, Ducts etc should be protected with proper fire sealing / fire dampers.
- (17). The fire dampers should be located at air conditioned ducts for check the spread of heat, flame, smoke and gases.
- (18). The cable gallery should be routed through fire resistance duct or fire protected tray.
- (19). Fire Resistant and Low smoke emission cable should be used.
- (20). A trained fire officer with a grew shall be arranged to maintain as well as to operate the fire protection systems in case of any need.
- (21). The fire protection systems provided in the building should be approved by the competent authority / certified by any notified bodies.
- (22). During Construction of the building the following fire protection measures should be provided in good working condition.

- 1. Dry riser minimum 100 mm diameter pipe with hydrant outlets on the floors constructed with a fire service inlet to boost the water in the riser from fire service pumps.
- 2. Drums filled with water of 2000 liters capacity with two fire buckets on each floor.
- 3. A water storage tank of minimum 20000 liters capacity, which may be used for other construction purposes also comply with all the fire safety arrangements.

The MSB Inspection Committee has recommended for issue of NOC subject to fulfillment of the above conditions.

2. In view of the above, NOC is issued on Fire Service point of view to accord Planning Permission to the above said proposed building subject to fulfillment of the above conditions, as recommended by the MSB committee. After completion of this project, Fire Licence should be obtained to ensure the fire safety measures.

for Director,
Fire and Rescue Services,
Tamil Nadu.

Copy to.

The Deputy Director,
North Western Region,
Vellore.

~~8/12/12~~ 8/12/13
~~20/12/12~~ 20/12/13

Annexure 8

TNWRD NOC and

Water Letter from Local Body



**GOVERNMENT OF TAMIL NADU
WATER RESOURCE DEPARTMENT**

From:

Er. S. Prabakaran, B.E.,
Chief Engineer, WRD,
State Ground & Surface Water
Resources Data Centre
Tharamani, Chennai 600 113.
Phone : 91-44-22542223 (Direct)
91-44-22541526/27(Board)
Email: cegwchennai@gmail.com
Web site: www.groundwatertnpwd.org.in

To:

**M/s. Shriprop Structures Private
Limited,**
Lakshmi Neela Rite Choice
Chamber, 1st Floor,
New-No.9, Bazullah Road,
T. Nagar, Chennai-600017.

Lr.No.DD(G)/OT 9/G-3/107/Fresh NOC/Chennai /2023/dated: 15.09.2023.

Sir,

Sub: **"No Objection Certificate"** for drawal of groundwater to **"M/s. Shriprop Structures Private Limited"**, Perumattunallur Village, Guduvancheri Firka, Vandalur Block, Tambaram Taluk of Chengalpattu District – Fresh NOC - Reg.

Ref: 1. The Housing Complex application dated: 12.09.2022.
2. SE/GWC/CHN/Lr.No.207^{CE}/AD(GP)/GWC/CH/F30/NOC/2023 /Dt;31.08.2023.

Please find the enclosed **"No Objection Certificate"**, for drawal of groundwater to **"M/s. Shriprop Structures Private Limited"**, Perumattunallur Village, Guduvancheri Firka, Vandalur Block, Tambaram Taluk of Chengalpattu District. You are requested to strictly adhere to the quantity permitted and conditions mentioned in the certificate and **apply for renewal of NOC** before two months from the date of expiry without fail. If you fail to apply for renewal of NOC, it will be treated as "illegal" and informed to the District Monitoring Committee to seal the bore wells in your unit as per Madras High Court orders in WP.No.28535/2014 & WP.No.16299/2018.

Enclosure:

1. No Objection Certificate & Conditions



Certificate No.107/2023

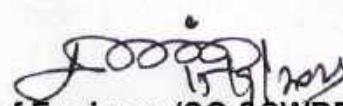
Dated: 15.09.2023.

GOVERNMENT OF TAMIL NADU
 WATER RESOURCES DEPARTMENT
 STATE GROUND & SURFACE WATER RESOURCES DATA
 CENTRE CHENNAI – 113
No Objection Certificate

This is to certify that "M/s. SHRIPROP STRUCTURES PRIVATE LIMITED", Perumattunallur Village, Guduvancheri Firka, Vandalur Block, Tambaram Taluk of Chengalpattu District is hereby given the "No Objection Certificate" for the drawal of the total quantity of 5,00,000 LPD (Five Lakhs litres per day) of groundwater for the purpose of "Domestic" from the Ground water structure listed below with strict adherence to stipulated conditions.

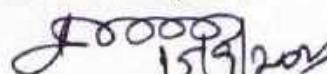
Sl. No	Referred Well / Bore Well & SF. No	Village / Firka	Co-ordinates		Quantity Permitted for Pumping in LPD
			Latitude	Longitude	
1.	Bore Well-1 & 65/5A	Perumattunallur / Guduvancheri	12°48'58"N	80°05'09"E	40,000
2.	Bore Well-2 & 76/4		12°48'59"N	80°05'07"E	40,000
3.	Bore Well-3 &77/2C1A		12°48'59"N	80°05'06"E	40,000
4.	Bore Well-4& 77/2C1A		12°49'00"N	80°05'04"E	40,000
5.	Bore Well-5 & 77/1A		12°49'01"N	80°05'02"E	40,000
6.	Bore Well-6 & 80/1		12°48'59"N	80°04'58"E	40,000
7.	Bore Well-7 & 79/1		12°48'58"N	80°05'01"E	40,000
8.	Bore Well-8 & 79/2		12°48'57"N	80°05'00"E	35,000
9.	Bore Well-9 & 78/1		12°48'54"N	80°04'59"E	35,000
10.	Bore Well-10 & 86/1C		12°48'56"N	80°04'57"E	35,000
11.	Bore Well-11 & 16/4B		12°49'02"N	80°04'58"E	40,000
12.	Bore Well-12 & 77/1B		12°49'00"N	80°05'01"E	40,000
13.	Bore Well-13 & 80/1		12°48'57"N	80°04'58"E	35,000
Total					5,00,000

This No Objection Certificate now issued is valid only for Three years from the date of issue and the NOC is issued under the conditions laid down.


 Chief Engineer (SG & SWRDC),
 WRD, Tharamani, Chennai-113

NOC Conditions pertaining to M/s. Shriprop Structures Private Limited, Chengalpattu District.

- 1 This No Objection certificate issued for ground water extraction applies to the referred ground water abstraction structure only.
- 2 All the **other ground water abstraction structures** (dug wells/bore wells/dug-cum bore wells) other than the permitted one inside the plant area should not be considered for this permission.
- 3 Such structures as said in Condition No.2 should be closed or used only for **Rain water harvesting** purposes.
- 4 This Certificate is applicable for drawal of permitted Quantity of ground water only and **not for transportation**.
- 5 The flow meter should be fixed in the suction tube near to bore well during the time of extraction. Failure fitting flow meter / Absence of flow meter in the abstraction well during the time of extraction will leads to cancellation of NOC issued.
- 6 The Housing Complex should install necessary "flow meters" to the referred well /bore well and monitor the quantity which should not exceed the permitted level. Proper Records should be maintained continuously from the date of drawal. Monthly statement of daily drawal of water should be sent to the Executive Engineer, Groundwater Division, Chennai.
- 7 As and when the officials of Ground Water Wing of WRD inspect the site/premises, perusal of drawal records and water quality observations should be allowed.
- 8 **Rain water harvesting structure** is to be established as per the direction of this department. Rain water harvesting structures already exist inside the plant premises, it should be maintained properly.
- 9 **Violation of the above stipulations in any form may lead to cancellation of the permission accorded by the Government.**
- 10 The Housing Complex should be ready to pay the **levy/charges for drawal of ground water** for commercial purposes, if Government / Ground Water Authority imposes any such orders in future.
- 11 The Housing Complex has to **drill one new bore well** within the extraction well located premises for monitoring water level and observing water quality within 30 days from the date of issue of NOC. The bore well should have been **constructed with platform and locking arrangements** (in full shape). If any bore well already existing and unused within the premises of the plant the same may also be utilized for the purpose.
- 12 It is also informed that during the renewal of the NOC, depending upon the hydrogeological condition the category of the area and the site conditions, the quantity will be vary from permitted quantity. The company should make alternate arrangements for the reducing quantity for sustaining their industrial activity by means of availing water through local bodies/by desalination of sea water /or using the urban waste water after proper treatment.
- 13 This No Objection Certificate is applicable only for the purpose of "**Domestic**", if any deviation in the usage of ground water is found, the NOC accorded is automatically deemed to be cancelled.
- 14 As per the G.O.(Ms).No 142 PW(R2)Dept, dt:23.07.2014, NOC for the Non water based industries must be renewed three years once.
- 15 The **Executive Engineer, Ground Water Division/ The Assistant Director (G), Groundwater Sub Division/The Assistant Geologist, Groundwater Section** of the respective District would inspect either the rain water harvesting structures established in the premises of the firm or the records maintained or even the drawal of ground water as and when needed and it is the mandatory of the firm to maintain the Rain water harvesting structure/ structures properly and show the records needed.
- 16 If any information / Documents submitted by this firm is found to false / in correct or any data provided by the firm is found to be incorrect, the NOC issued to the firm will be cancelled by this department without any prior notice.


Chief Engineer, (SG&SWRDC),
WRD, Tharamani, Chennai- 113.

விடுநர்

திரு.சி. கிருஷ்ணமூர்த்தி,
வட்டார வளர்ச்சி அலுவலர் (வ.ங),
காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம்

பெறுநர்

ஊராட்சி மன்றத் தலைவர்,
பெருமாட்டுநல்லூர் ஊராட்சி

த.ந.எண் 950/2015/ க4 நாள் 06.03.2015

பொருள் - காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம் -
பெருமாட்டுநல்லூர் ஊராட்சி சர்வே எண். 16/4ஏ,
16/4வி மற்றும் பலவற்றில் அடுக்குமாடு
குடியிருப்புகளுக்கு தினசரி குடிநீரினை வழங்குவது
- சம்மந்தமாக.

பார்வை - Shriprop Structures Private Limited, Letter dated
05.03.2015.

பார்வையில் கானும் நிறுவனத்திடமிருந்து வாப்பெற்ற கடிதத்தில் குறிப்பிட்டவாறு
சர்வே எண். 16/4ஏ, 16/4வி மற்றும் பலவற்றில் அடுக்குமாடு குடியிருப்புகளுக்கு தினசரி
உபயோகத்திற்கு தேவையான குடிநீரினை ஊராட்சியின் மூலம் வழங்குமாறு கோரியுள்ளனர்.

மேற்படி நிறுவனத்திற்கு நகர் ஊழைப்பு துணை இயக்குநர், செக்கல்பட்டு
அவர்களிடமிருந்து வரைபட அனுமதி வழங்கப்பட்டு பெருமாட்டுநல்லூர் ஊராட்சி மன்றம் மூலம்
இருதி ஒப்புதல் வழங்கப்பட்டுள்ளது. எனவே, மேற்படி நிறுவனம் கோரும்படி உத்தேச
குடியிருப்புகள் உருவான பின், குடியிருப்பு கட்டிடங்களில் குடியிருப்பவர்களின் தினசரி
உபயோகத்திற்கு தேவையான (1120 KLD) குடி நீரினை ஊராட்சியின் மூலம்
வழங்குவதற்குண்டான அனுமதி உரிய அரசு விதிமுறையுக்கு உட்பட்டு வழங்க நடவடிக்கை
எடுக்க கேட்டுக் கொள்ளப்படுகிறது.

இணைப்பு - மேற்படி கடித நகல்.

வட்டார வளர்ச்சி அலுவலர் (வி.ங),
காட்டாங்கொளத்தூர்.

நகல்
Shriprop Structures Private Limited,
Laskhmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road,
T. Nagar, Chennai - 600 017.

13/3/15

பெருமாட்டுநல்லூர் முதல்நிலை ஊராட்சி மன்ற தலைவர் மற்றும் செயல்அலுவலரின் நடவடிக்கைகள்

முன்னிலை: திரு. கே.எஸ்.ரவி

६० लेखा:

નાટી: 07.03.2015

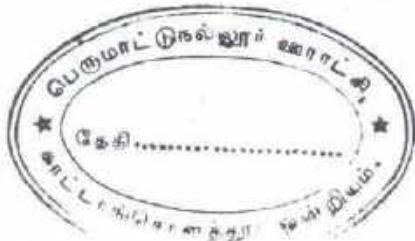
ବିପାକୁଳୀ

உத்தேச குடியிருப்புக் கட்டிடம் - காஞ்சிபுரம் மாவட்டம் செங்கல்பட்டு வட்டம், பெருமாட்டுநல்லூர் ஊராட்சி மற்றும் கிராமம் - 16/4A, 4B: 65/4, 5A, 5B; 76/4,5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A,3B; 78/1,2; 79/1,2; 80/1,2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B 1C; 87/1A, 1B1, 1B2, 2A, 2B,2C; 88/1,2,3, 89/2, 3A, 3B,3C,4A,4B, 90 & 95/4 ஆகிய நிலா எண்களில் உருவாக்கப்படவுள்ள குடியிருப்புகட்டிடங்கள் கட்டிடங்கள் கட்டுதல் வரிய அனுமதி பெற்றது - ஊராட்சி அடிப்படை வசதிகள் ஏற்படுத்தி தருதல்-தொடர்பாக.

பார்வை: 1. சூப்கள் குடிதும் நாள் 06.03.2015

2. வட்டார் வளர்ச்சி அலுவலர் (வ.ஹி). அவர்களின் குடிதம் ந.க.எண் 950/2015/து4
நாள்: 06.03.2015

காஞ்சிபுரம் மாவட்டம், செங்கல்பட்டு வட்டம், பெருமாட்டுநல்லூர் ஊராட்சி மற்றும் கிராமம் - 16/4A, 4B: 65/4, 5A, 5B; 76/4,5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A,3B; 78/1,2; 79/1,2; 80/1,2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B 1C; 87/1A, 1B1, 1B2, 2A, 2B,2C; 88/1,2,3, 89/2, 3A, 3B,3C,4A,4B, 90 & 95/4 ஆகிய நிது எண்களில் பலமான தொகுப்புக் கட்டிடம் அமைந்து. மேற்படி உத்தேச குடியிருப்பு கட்டிடம் ஏற்படுத்துவதற்கு பெற்ற திட்ட அனுமதியின் படி உத்தேச குடியிருப்புகள் உருவான பின், குடியிருப்பு கட்டிடங்களில் குடியிருப்பவர்களின் தினசரி உடயோகத்திற்கு தேவையான (பார்வையில் உள்ள கடிதத்தில் குறிப்பிட்டுள்ளபடி தோர்யமாக 1120 KLD) குடி நீரினை அதற்கான கட்டணம் செலுத்திய பின் ஊராட்சியினால் வழங்கப்படும் என இதன்மூலம் தெரிவிக்கப்படுகிறது.



தமிழ் 9/2/15
ஊராட்சி மன்ற தலைவர் மற்றும் செயல்துறைவர்
பெருமாட்டுநல்லூர் முதல்வினைக்குழுமாட்சி

Онлайн-

Shriprop Structures Pvt Ltd.,
எண்: பகுல்லா சாலை,
தியாகராய் நகர்.
சென்னை - 600017.

Annexure 9

Construction Schedule

CONSTRUCTION SCHEDULE

S. No	Block Names	No of Floors	No of Units	Commissioning date		Remarks
				Start Date	End Date	
1	Tower 1	S+4	144	2017	2020	Completed
2	Tower 2	S+4	96	2015	2018	Completed
3	Tower 3	S+4	64	2019	2021	Completed
4	Tower 4	S+4	96	2019	2021	Completed
5	Tower 5	S+4	64	2019	2021	Completed
6	Tower 6	S+4	92	2018	2020	Completed
7	Tower 7	S+4	92	2021	2023	Completed
8	Tower 8	S+7	112	-	-	Yet to be started
9	Tower 10	G+6	48	-	-	Yet to be started
10	Tower 11	S+7	112	2021	2024	Completed
11	Tower 12	S+4	64	2020	2023	Completed
12	Tower 13	S+7	70	2020	2024	Completed
13	Tower 14	G+6	72	-	-	Yet to be started
14	Tower 15	S+7	70	2020	2024	Completed
15	Tower 16	S+4	64	2020	2023	Completed
16	Tower 17	S+4	72	2020	2023	Completed
17	Tower 18	S+4	64	2021	2024	Completed
18	Tower 19	S+4	72	2021	2024	Completed
19	Tower 20	S+4	72	2021	2024	Completed
20	Tower 21	S+7	84	2021	2023	Completed
21	Tower 22	S+7	112	2022	2024	Completed
22	Tower 23	S+7	84	2022	2024	Completed
23	Tower 24	S+7	84	2024	-	Incomplete
24	Tower 25	S+7	70	2022	2024	Completed
25	Tower 26	S+7	112	2022	2024	Completed
26	Tower 27	S+7	112	-	-	Yet to be started
27	Club House 1	G+1	-	2015	2018	Completed
28	Club House 2	G+1	-	2016	2018	Completed
29	Shop	G+1	-	2024	-	Incomplete



Annexure 10

**Approved Layout and Building Planning
Permit**

பெருமாட்டுநல்லூர் ஊராட்சி மன்றத் தலைவர் / காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம்
கெயல்முறைகள் ஆணை பிறப்பிரிவை - திருமதி. N. பகவதி

ந.க.எண் 25(4)/2024-25(ப.ப.ம)

நாள் -11.12.2024



பொருள் கட்டிட வரைபட அனுமதி நீட்டிப்பு - காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம் - பெருமாட்டுநல்லூர் ஊராட்சி, பெருமாட்டுநல்லூர் கிராமம், நில அளவை சர்வே எண் 65/4, 5A, 5B, 76/4,5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B, 78/1,2, 80/1, 2, 81/1,2, 82, 83, 85, 86/1B, 2A, 2B, 1C, 87/1A, 1B1,1B2 2A, 2B,16/4A,4B,2C, 88/1, 2,3, 89/2, 3A,3B, 3C, 4A, 4B, 90 & 95/4 - 146160.07- ச.மீ நிலப் பரப்பளவு இடத்தில் 49182.05 ச.மீ பாப்பளவில் Tower 8,9, 10, 14, 24, 26, 27) 07 சுடியிருப்பு கட்டிடங்கள் Club House - மற்றும் கடை கட்டிடங்கள் மட்டும் பணி முழுமைப்பொது காரணத்தால் பலமாத உத்தேச சுடியிருப்புகளுக்கு வரைபட அனுமதி மற்றும் கட்டிடங்கள் கட்ட கட்டுமான அனுமதி நீட்டிப்பு வழங்கி உத்தரவிடல்.

பார்வை 1) அரசு ஆணை எண். 255 நாள் 19.08.1997.
 2) நகர் ஊரமைப்பு துணை இயக்குநர் (பொ) செங்கல்பட்டு மண்டலம் அவர்களிடம் ந.க.எண் 783/2012/செ.மா.3, நாள்-8.12.2014
 3) ந.க.எண் 2285/2017 அ1, நாள்.28.12.2017 அன்று தொகுப்பு சுடியிருப்பு கட்டி 27.12.2019 வரை கட்டிட வரைபட அனுமதி நீட்டிப்பு செய்யப்பட்டது.
 4) தனி அலுவலர் செயல்முறை எண் 186/2019-2020 -ன் படி 26.12.2019 முதல் 25.12.2021 வரை கட்டிட வரைபட அனுமதி வழங்கப்பட்டது.
 5) பெருமாட்டுநல்லூர் ஊராட்சி மன்றத் தலைவர் செயல்முறை எண் 49/2021-2022 - படி 23.12.2021 முதல் 22.12.2024 வரை கட்டிட வரைபட அனுமதி வழங்கப்பட்டது.
 6) மனுதாரர் கடித நாள் -30.11.2024
 7) தொடர்புடைய ஆவணங்கள்

உத்தாவி

M/s Shriprop Structures Pvt Ltd, என்ற நிறுவனத்திற்கு பெருமாட்டுநல்லூர் ஊராட்சி, பெருமாட்டுநல்லூர் ஊராட்சி, பெருமாட்டுநல்லூர் கிராமம், நில அளவை சர்வே எண் 65/4, 5A, 5B, 76/4,5, 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C2, 3A, 3B,16/4A,4B, 78/1,2, 80/1, 2, 81/1,2, 82, 83, 85, 86/1B,2A,2B,1C, 87/1A, 1B1, 1B2, 2A, 2B, 2C, 88/1, 2, 3, 89/2, 3A, 3B, 3C, 4A, 4B, 90 & 95/4 - 146160.07- ச.மீ நிலப் பரப்பளவு இடத்தில் 49182.05 ச.மீ பாப்பளவில் Tower 8, 9,10,14,24,26,27) 07 சுடியிருப்பு கட்டிடங்கள் Club House மற்றும் கடை கட்டிடங்கள் ஆகிய பகுதிகளில் கட்டிடம் / கட்டிடங்கள் / கிணறு / கழிப்பிடம் / குளியலறை / கடைகள் ஆகியவைகள் கட்டுவதற்கு சுற்றுச்சூடு / கிணறு / கழிப்பிடம் / குளியலறை / கடைகள் ஆகியவைகள் கட்டுவதற்கு கட்டி. வரைபடத்திற்கு கவு / தலைவர் (செமு) எண் -25(4) / 2024 - 2025 என கட்டி. வரைபடத்திற்கு கீழ்க்கண்ட நிபந்தனைகளுக்கு உடபட்டு அனுமதி எண்ணிடப்பட்டு கீற்று.

இந்த அனுமதியானது 11.12.2024 நாளது முதல் 10.12.2027- ம் நாள் வரை முன்று ஆண்டுக்கு செல்லுபடியாகும். அனுமதி கட்டணம் ரூ.15,88,203/- (ரூபாய்.பதி) எண்பத்து இலட்சத்து எட்டாயிரத்து இருநூற்று மூன்று மட்டும்) செலுத்தியமைக்கான பலவகை இருசீது எண் -2024-25/35/7/25/7/96 நாள் -11.12.2024 மற்றும் அங்கீரிக்கப்பட்ட வரைபடங்கள் இத்துடன் இணைக்கப்பட்டுள்ளன.

நிபந்தனைகள்

கட்டிடத்தின் முன் பக்கத்தில் 3 மீட்டருக்கு குறையாமலும், பின் பகுதியில் 2 மீட்டருக்கு குறையாமலும் இருபக்கங்களிலும் 2 மீட்டருக்கு குறையாமலும் இடைவெளி விடப்பட்டிருக்க வேண்டும்.

தமிழ்நாடு ஹராட்சியின் 1994ம் ஆண்டு திருத்தப்பட்ட சட்டத்தின்படி சென்னை பெருந்கா வளர்ச்சிக் குழும விதிகளில் ஏற்படுத்தப்பட்டுள்ள எல்லா கட்டுப்பாடுகளுக்கும் உட்பட்டிருத்தல் வேண்டும்.

அரசாங்கத்திற்கு சொந்தமான இடங்களிலோ அல்லது இருமதுதாரருக்கு

- > சம்பந்தமில்லாத வேறு இடங்களிலோ ஆக்கிரமணம் செய்வது கட்டாது.
- > கட்டிட வேலைகள் நடக்கும் பொழுதோ அல்லது வேறு எந்த பேரங்களிலோ
- > ஹராட்சியிலிருந்து ஆய்வு செய்ய வரும் அதிகாரிகளுக்கு அங்கீகரிக்கப்பட்ட வரைபடங்களை காண்பிக்க வசதியாக வேலை நடக்குமிடங்களில் மேற்படி வரைபடங்களை வைத்திருத்தல் வேண்டும்.

இந்த உத்தரவில் அனுமதிக்கப்பட்ட கால வரையறுக்குள் கட்டிடம் கட்டி முடிக்கப்படாவிடல் அனுமதியை மீண்டும் புதியதாக மனு கொடுத்து அனுமதி பெற வேண்டும்.

புறம்போக்கு மற்றும் இதர அரசுக்குச் சொந்தமான இடங்களில் எந்தவித ஆக்கிரமிப்பும் செய்யக்கூடாது.

- > அனுமதித்த வரைபடத்தில் கூடுதலோ அல்லது மாறுதல் ஏதேனும் செய்து கட்ட வேண்டுமானால் அதற்குரிய திருத்தப்பட்ட வரைபடங்களுடன் தலைவர் / நிர்வாக அதிகாரிக்கு / தனி அலுவலருக்கு விண்ணப்பம் செய்து உத்தரவு பெற்ற பிறகுதான் மாறுதல் கட்டிடம் கட்ட வேண்டும்.

நில உரிமை குறித்து வழங்கப்பட்ட சான்றுகள் (ம) பரிசீலனைக்கு

- > சமர்ப்பிக்கப்பட்ட ஆவணங்கள் சரியானவையல்ல என அறியப்படால் (அ) கட்டிட வரைபட ஒப்புதல் வழங்கியதால் பாதிப்பு ஏற்படக்கூடிய சூழ்நிலை ஏற்படின் இக்கட்டிடத்திற்கு வழங்கப்பட்ட ஒப்புதல் எவ்வித முன்னறிவிப்பின்றி இருத்து செய்யப்படும். எந்த நபரும் விண்ணப்பதாரருக்கு சொத்தின் மீது உள்ள உரிமையை தனியாக உறுதிப்படுத்திக் கொள்ள வேண்டும். மேலும் அதன் மேல் வேறு யாரேனும் தனிநபர் உரிமை கோரினால் அவர்கள் பொருத்தமான தகுதியுள்ள நீதிமன்றத்தின் முன் தீர்த்துக் கொள்ளலாம். இதனை முடிவு செய்ய ஹராட்சித்துறை பொருத்தமான அமைப்பு அல்ல.

கட்டிடம் கட்ட உத்திரவு பொய்யதிவுகள் மூலம் பெற்றதாகவோ அல்லது ஏதேனும்

- > கட்டிட விதிகளுக்கு புறம்பாகவோ பெற்றதாமிருந்தால் மேற்படி உத்திரவை ரத்து செய்ய தலைவருக்கு / தனி அலுவலருக்கு உரிமை உண்டு.

புதியதாக கட்டப்படும் கட்டிட இடங்கள் எந்த நேரத்திலும் கத்தமான பொது சுகாதாரக்கேழ விளைவிக்காத வகையில் வைத்து இருத்தல் அவசியம் மனுதாரர் கட்டிடத்தை கட்டி முடித்த பின்பு இவ்வழுவுலகத்திலிருந்து சான்றிதழ் பெற்ற பின்பே குழிபுக வேண்டும்

கட்டிடத்திலிருந்து வரும் கழிவு நீரை மனுதாரர் தன் சொந்த இடத்திற்குள்ளேயே

- > நிறுத்தி வைத்து அவைகளை அப்பறப்படுத்தும் வகையில் வடிகால்களும், கழிவு நீர்த் தொட்டிகளும் அமைத்துக் கொள்ள வேண்டும்.

கட்டிடம் தொழிலுகங்களுக்காகவோ அல்லது வேறு தொழிலாளர் வேலை செய்ய

- > வேண்டிய இடங்களுக்காகவோ கட்டப்படியிருந்தால் அவைகளுக்கு மாவட்ட சுகாதார அலவலரிடமிருந்து தொழிலுக்காகவீன் ஆய்வாளரிடமிருந்து மற்றும் உறுப்பினர்செயலர், சென்னை பெருந்கா வளர்ச்சிக்குழுமம் ஆகியோரிடமிருந்தும் அனுமதி பெற்றிருத்தல் வேண்டும்.

அங்கீகரிக்கப்பட்ட வரைபடங்களின்படியே கட்டிடம் கட்டி முடிக்கப்பட்ட பின்பு

- > இவ்வரூட்சியிலிருந்து சான்றிதழ் பெற்றுக் கொள்ள வேண்டும்.
- > கட்டிட வேலை முடிந்த பின்போ அல்லது குடியேறிய பின்னரோ 15 தினங்களுக்குள்
- > தலைவர் / தனி அலுவலர் அவர்களுக்கு எழுத்து முஸ்மாக கொள்கிக்க வேண்டும்.

தலைவர், 11/2/24
பெருமாட்டுநல்லூர் முதல்நிலை ஹராட்சி,
காட்டாங்கொவத்தூர் ஹராட்சி ஒன்றியம்.

பெறுநர்

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முன்னிலை: திரு.கே.எஸ்.ரவி

576 | 2014

નાં : ૩૧.૧૨.૨૦૧૪

கட்டிட அனுமதி - காஞ்சிபுரம் மாவட்டம், காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம், பெருமாட்டுநல்லூர் கிராமம் மற்றும் ஊராட்சி மன்றம், பெருமாட்டுநல்லூர் கிராமம் புல எண்கள்: 16/4A, 4B; 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 1C, 2A, 2B; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90 & 95/4 - 146160.07 ச.மீ பரப்பராவு இடத்தில் 212811.83 ச.மீ கட்டிட பரப்பில் அமையும் பல மாடி உத்தேச குடியிருப்புகளுக்கு வரைப்பட அனுமதி மற்றும் கட்டிடங்கள் கட்ட கட்டுமான அனுமதி வழங்குதல் - தொடர்பாக.

പാർശ്വ:

1. நகர் ஊரமைப்பு, துணை இயக்குநர் (பொ) செங்கல்பட்டு, அவர்களின் கடிதம் ந.க.எண்.783/2012/செம 3 நாள்: 8/12/2014

A row of seven blue stars, likely representing a rating or a set of options.

ஆட்டையா:

M/s. Shriprop Structures Pvt. Ltd., என்ற நிறுவனத்திற்கு பெருமாட்டுநல்லூர் கிராமம் நில அளவை எண்கள்: 16/4A, 4B; 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 1C, 2A, 2B; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90 & 95/4 கொண்ட பகுதியில் 146160.07 ச.மீ பரப்பளவு இடத்தில் 212811.83 ச.மீ கட்டிட பரப்பில் அமையும் பல மாடி உத்தேச குடியிருப்புகள், Club Houses, Shop கட்டிடங்கள் கட்ட பார்வை -1ல் கண்டுள்ள நகர் ஊரமைப்பு துணை இயக்குநர் (பொ). செங்கல்பட்டு மண்டல அலுவலகம் வழங்கிய திட்ட அனுமதி எண். கவ/நஞ்சாதுதி(செம) எண்.65 (1 முதல் 33 வரை)/2014ன் படி இவ்வூராட்சி கட்டிட உரிமை எண். 376/14 ஸ்படி 31-12-2014 முதல் 30-12-2017 முடிய மூன்றாண்டுகளுக்கு வரைப்பட அனுமதி மற்றும் கட்டிடம் கட்டிக் கொள்ள கட்டுமான அனுமதி வழங்கப்படுகிறது, என்பதை இவ்வாணையின் மூலம் தெரிவிக்கப்படுகிறது.

நிபந்தனைகள்:

- 1) தமிழ்நாடு நகராட்சிகள் சட்டத்திலும், தமிழ்நாடு ஊராட்சி திட்டத்திலும் அரசினால் விதிகளில் ஏற்படுத்தப்பட்டுள்ள எல்லா கட்டுபாடுகளுக்கும் உட்பட்டிருத்தல் வேண்டும்.
- 2) அரசுக்கு சொந்தமான இடங்களையோ அல்லது இவ்விண்ணப்பாததாருக்கு தொடர்பில்லாத வேறு இடங்களையோ கையகப்படுத்துதல் கூடாது.



: 2 :

வினாக்களுக்கு மாநில முடிக்கப்பட்ட காலவரையறைக்குள் கட்டிடம் கட்டி முடிக்கப்படும் பெறாவிட்டால் அனுமதியை மீண்டும் புதுப்பித்து கொள்ள வேண்டியது இன்றியுமையத்தாகும்.

- 4) அனுமதிக்கும் வரைபடத்தில் கூடுதலோ அல்லது மாறுதல் ஏதேனும் செய்து கட்டப்பட வேண்டுமானால், அதற்குறிய திருத்தப்பட்ட வரைபடங்களுடன் ஊராட்சி மன்றத் தலைவருக்கு விண்ணப்பம் செய்து ஆணைப்பெற்ற பின்னர் தான் கட்டிடம் கட்டப்பட வேண்டும்.
- 5) கட்டிடம் கட்ட ஆணை பொய்யப்பதிவுகள் மூலம் பெற்றதாகவோ அல்லது கட்டிட விதிகளுக்கு புறம்பாக பெற்றிருப்பின் மேற்படி ஆணையை ரத்து செய்ய ஊராட்சி மன்றத்தலைவருக்கு உரிமை உண்டு.
- 6) கட்டிடத்திலிருந்து வெளிவரும் கழிவுநீரை விண்ணப்பதாரர் தன் சொந்த இடத்திலேயே நிறுத்தி வைத்து அவைகளை அப்புறப்படுத்தும் வகையில் வடிகால்களும் கழிவுநீர் தொட்டிகளும் அமைத்துக் கொள்ள வேண்டும்.
- 7) கட்டிட வேலை முடிந்த பின்போ அல்லது குடியேறிய பின்னரோ 15 நாட்களுக்குள் ஊராட்சி மன்றத்தலைவருக்கு எழுத்து மூலமாக தெரிவிக்க வேண்டும்.
- 8) மழைநீர் சேகரிப்பு தொட்டி அமைப்பு சம்பந்தமான அரசின் விதிமுறைகளை முழுமையாக பின்பற்றப்பட வேண்டும்.
- 9) ஊராட்சிக்கு வழங்கப்பட்ட திறவெளி இடத்தினை ஆக்கிரமிப்பு செய்யாமல் திறவெளி இடத்தில் பூங்காக்கள் மற்றும் மரங்கள் அமைத்து நிறுவனத்தினர் தங்கள் சொந்த செலவிலேயே பராமரிக்க வேண்டும்.
- 10) உத்தேச குடியிருப்பு கட்டிடங்களிலிருந்து வெளியேறும் கழுவு நீரினை முறைப்படி சுத்திகரிப்பு செய்து மீண்டும் பயன்படுத்த உரிய ஏற்பாடுகள் செய்யப்பட வேண்டும்.
- 11) மனுதாரார் இடம் தொடர்பாக சட்டப்பூர்வ பிரச்சனை ஏற்படின் அதற்கு விண்ணப்பதாரரே பொறுப்பாவார்.

பெறுநர்:

Shriprop Structures Pvt. Ltd
Lakshmi Neela Rite Choice Chambers,
No.9, Bazullah Road,
T.Nagar, Chennai -600 017.

தலைவர் 3/1/2014
தலைவர்
மெருமாட்டுநல்லூர் ஊராட்சி

Annexure 11

Greenbelt Details and Photos

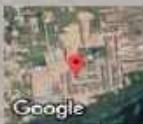
Existing Greenbelt Details:

S. No	Common Name	Scientific Name	Existing Trees
1	Gulmohar tree	<i>Delonix regia</i>	50
2	Neem tree	<i>Azadirachta indica</i>	120
3	Teak wood tree	<i>Tectona grandis</i>	512
4	Coconut tree	<i>Cocos nucifera</i>	30
5	Mango tree	<i>Mangifera indica</i>	10
6	Peepul tree	<i>Ficus religiosa</i>	10
7	Bamboo tree	<i>Bambusa vulgaris</i>	270
8	Papaya Tree	<i>Carica papaya</i>	15
9	Fern tree	<i>Filicium Decipiens</i>	30
10	Banana tree	<i>Encyclopediæ Britannica</i>	40
11	Fig tree	<i>Ficus carica</i>	25
12	Moringa tree	<i>Moringa oleifera</i>	34
13	Eucalyptus tree	stringybark trees	26
14	Indian Almond	<i>Terminalia Catappa L</i>	92
15	Guava Tree	<i>Psidium Guajava</i>	30
16	Golden shower tree	<i>Cassia fistula</i>	12
17	Mahua tree	<i>Madhuca longifolia</i>	10
18	Mast tree	<i>Monoon longifolium</i>	10
19	Royal palm	<i>Roystonea Regia</i>	75
20	Indian beech tree	<i>Millettia pinnata</i>	12
21	Manila tamarind tree	<i>Pithecellobium dulce</i>	4
22	Orchid tree	<i>Bauhinia variegata</i>	7
23	Toddy palm	<i>Borassus flabellifer</i>	4
24	Indian Gooseberry tree	<i>Phyllanthus emblica</i>	18
Total			1446

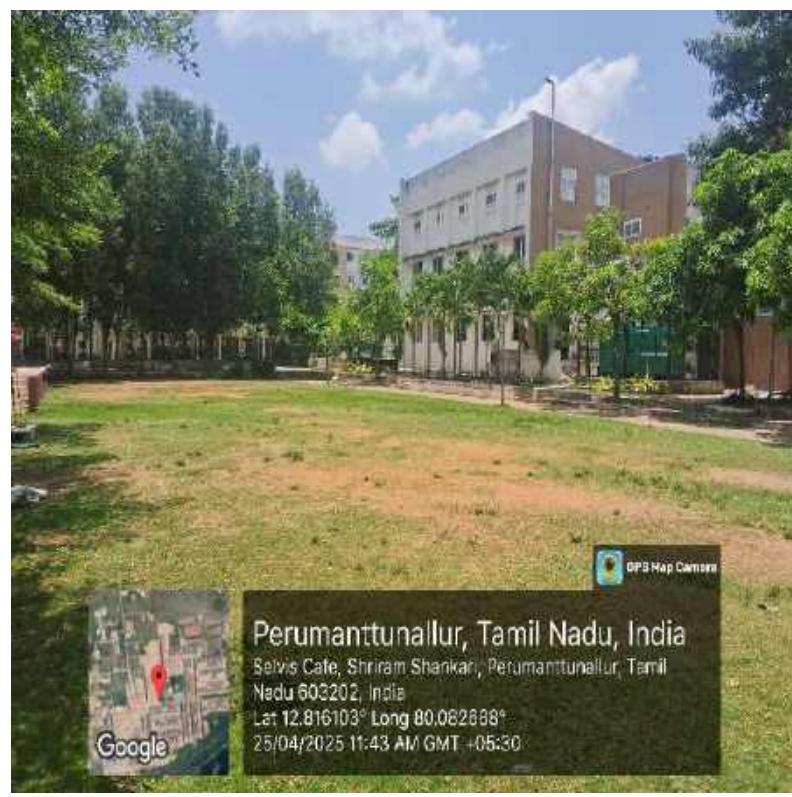
Greenbelt Coordinates:

S. No	Latitude	Longitude	S. No	Latitude	Longitude
1	12.8155231	80.08097977	45	12.81763695	80.08326101
2	12.81550208	80.08099807	46	12.8175922	80.08326076
3	12.81548679	80.08101515	47	12.81758653	80.0833042
4	12.81547641	80.08105207	48	12.81736534	80.08332352
5	12.81547579	80.08110253	49	12.81735666	80.08327032
6	12.81543922	80.08111426	50	12.81731347	80.08327361
7	12.81545221	80.08124742	51	12.81732836	80.08336043
8	12.81547635	80.08124192	52	12.81764219	80.08332749
9	12.81551247	80.08160149	53	12.81763695	80.08326101
10	12.81557655	80.08159637	54	12.81732126	80.08299594
11	12.81561011	80.081605	55	12.81695337	80.08304253
12	12.81566879	80.08161431	56	12.81695881	80.08307022
13	12.81572606	80.08190613	57	12.81727492	80.08303554
14	12.81579994	80.08226265	58	12.81728831	80.08312245
15	12.81613212	80.08224635	59	12.81730933	80.08312141
16	12.81612293	80.08219165	60	12.81731623	80.08317614
17	12.81582569	80.08222679	61	12.81733547	80.08317503
18	12.81575723	80.08193407	62	12.81732126	80.08299594
19	12.81578591	80.08191538	63	12.81696695	80.08314507
20	12.81571938	80.0815623	64	12.81697532	80.08339292
21	12.81549743	80.08117419	65	12.81701744	80.08409704
22	12.81553294	80.08115891	66	12.81672416	80.08412943
23	12.8155231	80.08097977	67	12.81679725	80.08495017
24	12.81655479	80.08213272	68	12.81694756	80.084945
25	12.81656982	80.08234058	69	12.81674866	80.08417828
26	12.81675768	80.08232684	70	12.81710368	80.08413331
27	12.81689569	80.0823199	71	12.81701688	80.08345717
28	12.81689119	80.08226595	72	12.81696695	80.08314507
29	12.81675778	80.08227667	73	12.81628572	80.08500194
30	12.81673889	80.08211565	74	12.81612422	80.08500699
31	12.81655479	80.08213272	75	12.81615144	80.08552199
32	12.81715025	80.08223435	76	12.81604493	80.08550388
33	12.81700583	80.08225242	77	12.81614796	80.08627006
34	12.81701313	80.08229739	78	12.81616427	80.0860047
35	12.81712624	80.08228685	79	12.8161751	80.08569909
36	12.81718044	80.08268125	80	12.81619893	80.08570026
37	12.81720746	80.08270403	81	12.81628572	80.08500194
38	12.81751691	80.0826739	82	12.81573388	80.08410294
39	12.8175458	80.08267461	83	12.81567374	80.08411035

40	12.81759302	80.08325997	84	12.81577681	80.08540115
41	12.81763232	80.08325849	85	12.81584039	80.08540173
42	12.81757284	80.08264238	86	12.81573388	80.08410294
43	12.81720461	80.08266711	87	12.81478898	80.08251353
44	12.81715025	80.08223435	88	12.81482717	80.08291206
S. No	Latitude	Longitude	S. No	Latitude	Longitude
89	12.81486348	80.08290442	109	12.81506342	80.08093138
90	12.81489831	80.08337435	110	12.81507053	80.08094647
91	12.81486084	80.0833806	111	12.81515506	80.08094104
92	12.81486076	80.08342063	112	12.81516978	80.0809597
93	12.81493375	80.08340639	113	12.81521773	80.08096068
94	12.81489985	80.08284121	114	12.81525403	80.08095914
95	12.81485231	80.08284703	115	12.81531282	80.08095761
96	12.81484108	80.08250931	116	12.81531031	80.08094195
97	12.81478898	80.08251353	117	12.81526984	80.0809476
98	12.81453988	80.08211437	118	12.81514452	80.08092668
99	12.81455742	80.0823792	119	12.81491018	80.0808552
100	12.81528885	80.0823194	120	12.81491984	80.0811252
101	12.81525435	80.08205822	121	12.81445048	80.08114551
102	12.81453988	80.08211437	122	12.8142012	80.0811574
103	12.81419445	80.08111293	123	12.81419445	80.08111293
104	12.81415223	80.08111681	124	12.81347304	80.08084138
105	12.81415467	80.08118961	125	12.81348146	80.08089599
106	12.81496181	80.08113589	126	12.81401544	80.08086721
107	12.81495813	80.08093921	127	12.81400893	80.0807973
108	12.81502201	80.08093402	128	12.81347304	80.08084138



Chengalpattu, Tamil Nadu, India
Shriram Shankari Block-AB, Shriram Shankari, Tamil Nadu 603202, India, Chengalpattu, Tamil Nadu 603202, India
Lat 12.815551° Long 80.082598°
25/04/2025 11:23 AM GMT +05:30



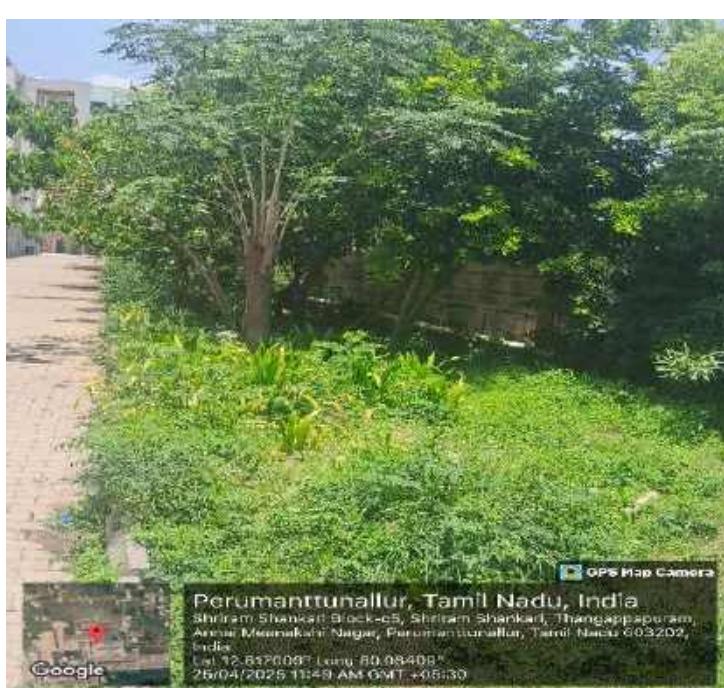
Perumantunallur, Tamil Nadu, India
Selvis Cafe, Shriram Shankari, Perumantunallur, Tamil Nadu 603202, India
Lat 12.816103° Long 80.082688°
25/04/2025 11:43 AM GMT +05:30



Perumantunallur, Tamil Nadu, India
Selvis Cafe, Shriram Shankari, Perumantunallur, Tamil Nadu 603202, India
Lat 12.815155° Long 80.082689°
25/04/2025 11:46 AM GMT +05:30



Perumantunallur, Tamil Nadu, India
Shriram Shankari Block-03, Shriram Shankari, Thengapettai, Anna Meenakshi Nagar, Perumantunallur, Tamil Nadu 603202, India
Lat 12.816074° Long 80.084117°
25/04/2025 11:48 AM GMT +05:30



Perumantunallur, Tamil Nadu, India
Shriram Shankari Block-03, Shriram Shankari, Thengapettai, Anna Meenakshi Nagar, Perumantunallur, Tamil Nadu 603202, India
Lat 12.817008° Long 80.08408°
25/04/2025 11:49 AM GMT +05:30



Perumantunallur, Tamil Nadu, India
Shriram Shankari Block-01, Shriram Shankari, Thengapettai, Anna Meenakshi Nagar, Perumantunallur, Tamil Nadu 603202, India
Lat 12.816002° Long 80.085548°
25/04/2025 11:50 AM GMT +05:30

Annexure 12
Fresh Water Supply letter

விடுநர்

திரு.சி. கிருஷ்ணமூர்த்தி,
வட்டார வளர்ச்சி அலுவலர் (வ.ங),
காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம்

பெறுநர்

ஊராட்சி மன்றத் தலைவர்,
பெருமாட்டுநல்லூர் ஊராட்சி

த.ந.எண் 950/2015/ க4 நாள் 06.03.2015

பொருள் - காட்டாங்கொளத்தூர் ஊராட்சி ஒன்றியம் -
பெருமாட்டுநல்லூர் ஊராட்சி சர்வே எண். 16/4ஏ,
16/4வி மற்றும் பலவற்றில் அடுக்குமாடு
குடியிருப்புகளுக்கு தினசரி குடிநீரினை வழங்குவது
- சம்மந்தமாக.

பார்வை - Shriprop Structures Private Limited, Letter dated
05.03.2015.

பார்வையில் கானும் நிறுவனத்திடமிருந்து வாப்பெற்ற கடிதத்தில் குறிப்பிட்டவாறு
சர்வே எண். 16/4ஏ, 16/4வி மற்றும் பலவற்றில் அடுக்குமாடு குடியிருப்புகளுக்கு தினசரி
உபயோகத்திற்கு தேவையான குடிநீரினை ஊராட்சியின் மூலம் வழங்குமாறு கோரியுள்ளனர்.

மேற்படி நிறுவனத்திற்கு நகர் ஊழைப்பு துணை இயக்குநர், செக்கல்பட்டு
அவர்களிடமிருந்து வரைபட அனுமதி வழங்கப்பட்டு பெருமாட்டுநல்லூர் ஊராட்சி மன்றம் மூலம்
இருதி ஒப்புதல் வழங்கப்பட்டுள்ளது. எனவே, மேற்படி நிறுவனம் கோரும்படி உத்தேச
குடியிருப்புகள் உருவான பின், குடியிருப்பு கட்டிடங்களில் குடியிருப்பவர்களின் தினசரி
உபயோகத்திற்கு தேவையான (1120 KLD) குடி நீரினை ஊராட்சியின் மூலம்
வழங்குவதற்குண்டான அனுமதி உரிய அரசு விதிமுறையுக்கு உட்பட்டு வழங்க நடவடிக்கை
எடுக்க கேட்டுக் கொள்ளப்படுகிறது.

இணைப்பு - மேற்படி கடித நகல்.

வட்டார வளர்ச்சி அலுவலர் (வி.ங),
காட்டாங்கொளத்தூர்.

நகல்
Shriprop Structures Private Limited,
Laskhmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road,
T. Nagar, Chennai - 600 017.

13/3/15

பெருமாட்டுநல்லூர் முதல்நிலை ஊராட்சி மன்ற தலைவர் மற்றும் செயல்அலுவலரின் நடவடிக்கைகள்

முன்னிலை: திரு. கே.எஸ்.ரவி

६० लेखा:

નાટી: 07.03.2015

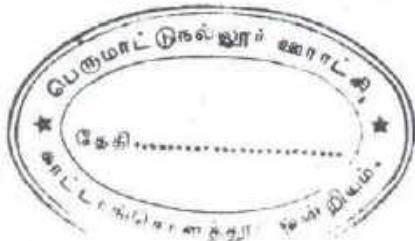
ବିପାକୁଳୀ

உத்தேச குடியிருப்புக் கட்டிடம் - காஞ்சிபுரம் மாவட்டம் செங்கல்பட்டு வட்டம், பெருமாட்டுநல்லூர் ஊராட்சி மற்றும் கிராமம் - 16/4A, 4B: 65/4, 5A, 5B; 76/4,5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A,3B; 78/1,2; 79/1,2; 80/1,2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B 1C; 87/1A, 1B1, 1B2, 2A, 2B,2C; 88/1,2,3, 89/2, 3A, 3B,3C,4A,4B, 90 & 95/4 ஆகிய நிலா எண்களில் உருவாக்கப்படவுள்ள குடியிருப்புகட்டிடங்கள் கட்டிடங்கள் கட்டுதல் பரிய அனுமதி பெற்றது - ஊராட்சி அடிப்படை வசதிகள் ஏற்படுத்தி தருதல்-தொடர்பாக.

பார்வை: 1. சூப்கள் குடிதும் நாள் 06.03.2015

2. வட்டார் வளர்ச்சி அலுவலர் (வ.ஹி). அவர்களின் குடிதம் ந.க.எண் 950/2015/து4
நாள்: 06.03.2015

காஞ்சிபுரம் மாவட்டம், செங்கல்பட்டு வட்டம், பெருமாட்டுநல்லூர் ஊராட்சி மற்றும் கிராமம் - 16/4A, 4B: 65/4, 5A, 5B; 76/4,5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A,3B; 78/1,2; 79/1,2; 80/1,2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B 1C; 87/1A, 1B1, 1B2, 2A, 2B,2C; 88/1,2,3, 89/2, 3A, 3B,3C,4A,4B, 90 & 95/4 ஆகிய நிது எண்களில் பலமான தொகுப்புக் கட்டிடம் அமைந்து. மேற்படி உத்தேச குடியிருப்பு கட்டிடம் ஏற்படுத்துவதற்கு பெற்ற திட்ட அனுமதியின் படி உத்தேச குடியிருப்புகள் உருவான பின், குடியிருப்பு கட்டிடங்களில் குடியிருப்பவர்களின் தினசரி உடயோகத்திற்கு தேவையான (பார்வையில் உள்ள கடிதத்தில் குறிப்பிட்டுள்ளபடி தோர்யமாக 1120 KLD) குடி நீரினை அதற்கான கட்டணம் செலுத்திய பின் ஊராட்சியினால் வழங்கப்படும் என இதன்மூலம் தெரிவிக்கப்படுகிறது.



தமிழ் 9/215
ஊராட்சி மன்ற தலைவர் மற்றும் செயல்துறைவர்
பெருமாட்டுநல்லூர் முதல்வினைக்குமாட்சி

Онлайн-

Shriprop Structures Pvt Ltd.,

என்ன: பகுப்பு சாலை,

கிழமைகளைப் பார்க்க

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Annexure 13

RMC utilization and Best curing practices

RMC Utilization and best curing practices



Annexure 14
Sewage Treatment Plant (STP)



Settling Tank



Aeration Tank



PCF/ACF Blower



UV System

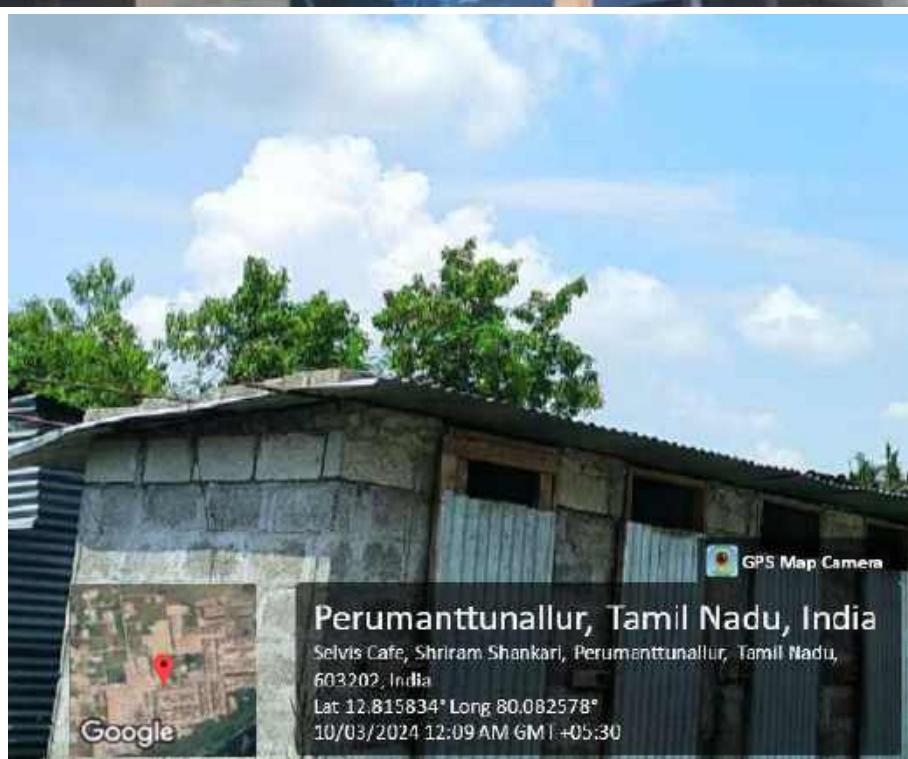


Inlet/Outlet EMFM

Filter Press

Annexure 15

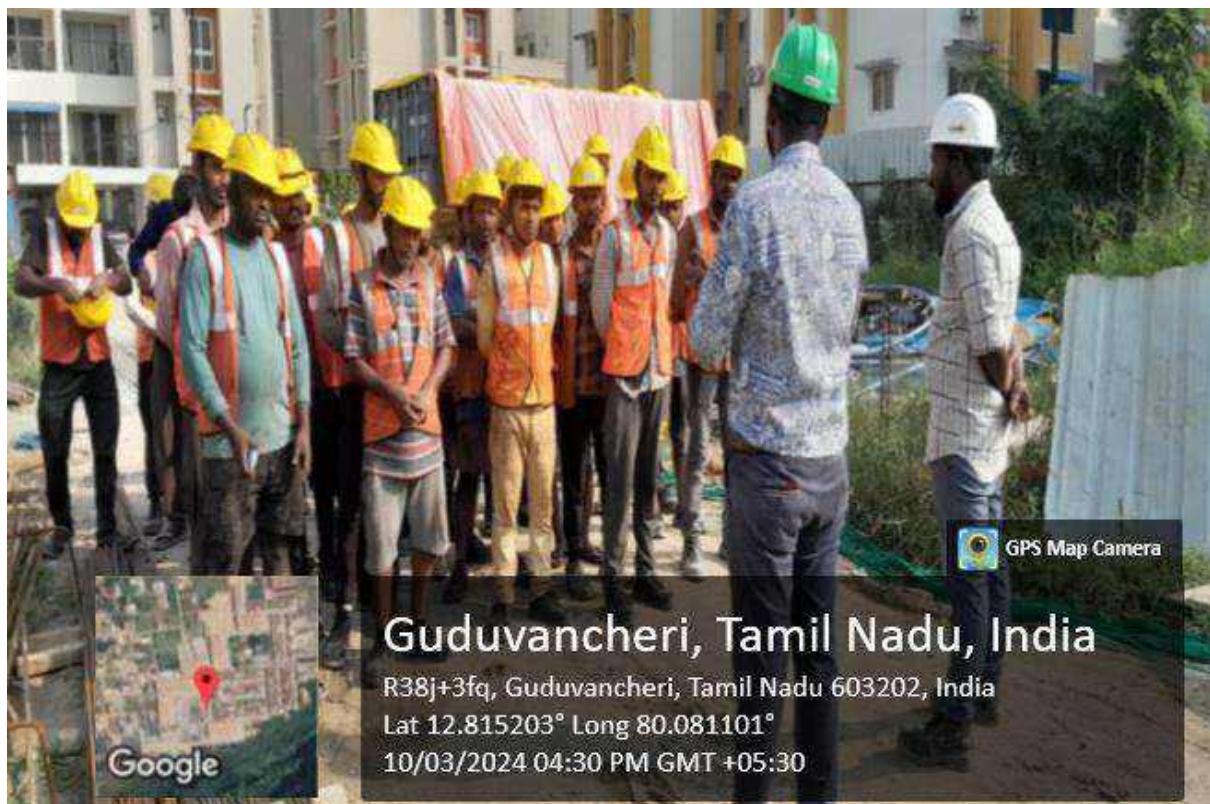
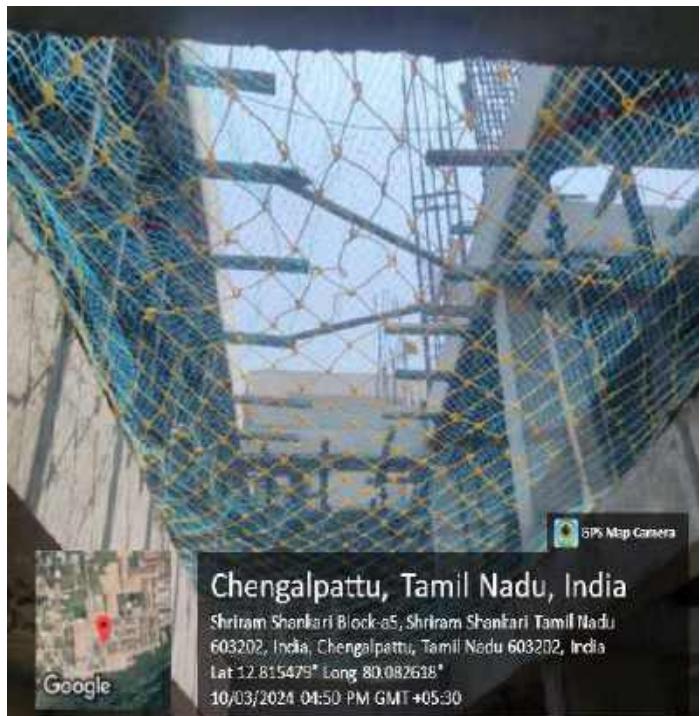
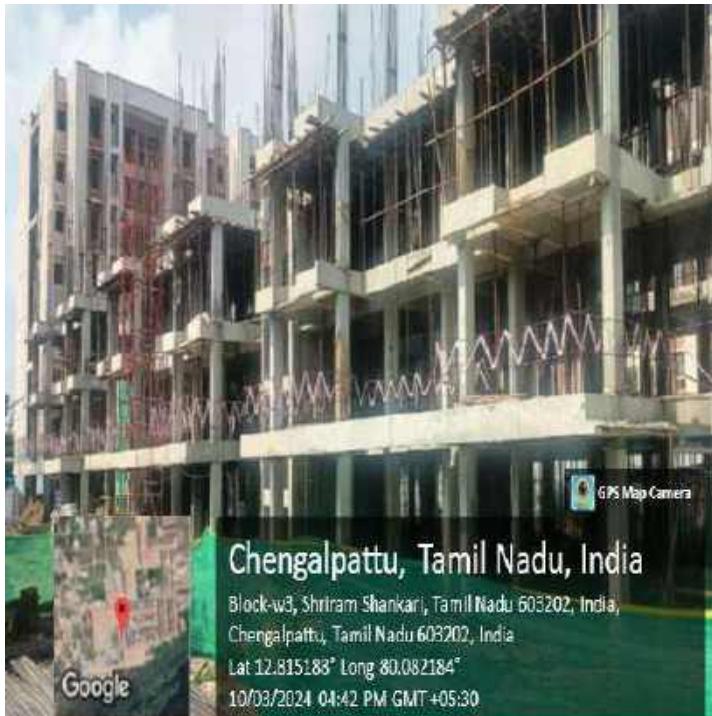
Sanitary Measures and Hygiene Practices



Annexure 16

Site Safety Measures

SITE SAFETY PHOTOS



Annexure 17
Medical Examination Photos

MEDICAL EXAMINATION PHOTOS



Annexure 18

Construction Phase Monitoring Reports



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611823000022680F

Report No: QEN23070336-01

Page 1 of 1

Report Date: 24 Jul 2023

Customer Name : M/s. Shriprop Structure Pvt Ltd
Customer Address : S.No: 16/4A, 4B, ETC, Perumattunallur Village, Chengalpattu District.
Sample Name : Air Sampling Date & Time : 19 to 20 Jul 2023
09.30 am to 09.30 am
Sample Description : Ambient Air Quality Monitoring Sample Received on : 20 Jul 2023
Reference : Test Request Form Dated 19.07.2023 Test Started on : 21 Jul 2023
Sample Drawn By : Laboratory Test Completed on : 24 Jul 2023
Sample Location : Near Technical Office
Sample Procedure : IS 5182
Relative Humidity : 61% Ambient Temperature : 33°C

TEST RESULTS

S.NO	Parameter	Test Method	Results	Unit	Limit as per NAAQS Specification
Chemical					
1	Ammonia as NH3	IS 5182 (Part 25)	BLQ(LOQ:20.0)	µg/m³	400 Max
2	Carbon Monoxide as CO (8hrs)	IS 5182 (Part 10)	BLQ(LOQ:1.14)	mg/m³	02 Max
3	Nitrogen dioxide as NO2	IS 5182 (Part 06)	23.6	µg/m³	80 Max
4	Ozone as O3	IS 5182 (Part 09)	BLQ(LOQ:20.0)	µg/m³	180 Max
5	Particulate Matter (PM10)	IS 5182 (Part 23)	64.8	µg/m³	100 Max
6	Particulate Matter (PM2.5)	IS 5182 (Part 24)	26.3	µg/m³	60 Max
7	Sulphur Dioxide as SO2	IS 5182 (Part 02)	11.3	µg/m³	80 Max
Polycyclic Aromatic Hydrocarbons					
8	Benzo(a)Pyrene (Particulate Phase)	SMSLA/GS/SOP/06	BLQ (LOQ:0.05)	ng/m³	01 Max
Trace Metal Elements					
9	Arsenic	Compendium Method 10-3.4	BLQ(LOQ:0.1)	ng/m³	06 Max
10	Lead	Compendium Method 10-3.4	BLQ(LOQ:0.001)	µg/m³	1.0 Max
11	Nickel	Compendium Method 10-3.4	BLQ(LOQ:0.1)	ng/m³	20 Max
Volatile Organic Compounds					
12	Benzene	SMSLA/GM/SOP/31	BLQ(LOQ:1.0)	µg/m³	05 Max

Note : BLQ: Below Limit of Quantification LOQ: Limit of Quantification

Conclusion : The above tested sample conforms the NAAQ standards for the above tested parameters.

***** End of the Report *****

R. Prabh
R. PRABHU
Senior Chemist

Laboratory Address: 39/6, Thiruvallur High Road, Puduchatram Post, Thirumazhisai Via, Poonamallee Taluk, Chennai - 600124.

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The laboratory's responsibility under this report is limited to proven willful negligence and will in no case be more than the invoiced amount. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611823000022681F

Report No: QEN23070336-02

Page 1 of 1

Report Date: 24 Jul 2023

Customer Name : M/s. Shriprop Structure Pvt Ltd
 Customer Address : S.No: 16/4A, 4B, ETC, Perumattunallur Village, Chengalpattu District.
 Sample Name : Air Sampling Date & Time : 19 to 20 Jul 2023
 09.40 am to 09.40 am
 Sample Description : Ambient Air Quality Monitoring Sample Received on : 20 Jul 2023
 Reference : Test Request FOrm Dated 19.07.2023 Test Started on : 21 Jul 2023
 Sample Drawn By : Laboratory Test Completed on : 24 Jul 2023
 Sample Location : Near Tower Building - II
 Sample Procedure : IS 5182
 Relative Humidity : 61% Ambient Temperature : 33°C

TEST RESULTS

S.NO	Parameter	Test Method	Results	Unit	Limit as per NAAQS Specification
Chemical					
1	Ammonia as NH3	IS 5182 (Part 25)	BLQ(LOQ:20.0)	µg/m³	400 Max
2	Carbon Monoxide as CO (8hrs)	IS 5182 (Part 10)	BLQ(LOQ:1.14)	mg/m³	02 Max
3	Nitrogen dioxide as NO2	IS 5182 (Part 06)	19.7	µg/m³	80 Max
4	Ozone as O3	IS 5182 (Part 09)	BLQ(LOQ:20.0)	µg/m³	180 Max
5	Particulate Matter (PM10)	IS 5182 (Part 23)	60.1	µg/m³	100 Max
6	Particulate Matter (PM2.5)	IS 5182 (Part 24)	24.8	µg/m³	60 Max
7	Sulphur Dioxide as SO2	IS 5182 (Part 02)	9.6	µg/m³	80 Max
Polycyclic Aromatic Hydrocarbons					
8	Benzo(a)Pyrene (Particulate Phase)	SMSLA/GS/SOP/06	BLQ (LOQ:0.05)	ng/m³	01 Max
Trace Metal Elements					
9	Arsenic	Compendium Method IO-3.4	BLQ(LOQ:0.1)	ng/m³	06 Max
10	Lead	Compendium Method IO-3.4	BLQ(LOQ:0.001)	µg/m³	1.0 Max
11	Nickel	Compendium Method IO-3.4	BLQ(LOQ:0.1)	ng/m³	20 Max
Volatile Organic Compounds					
12	Benzene	SMSLA/GM/SOP/31	BLQ(LOQ:1.0)	µg/m³	05 Max

Note : BLQ: Below Limit of Quantification LOQ: Limit of Quantification

Conclusion : The above tested sample conforms the NAAQ standards for the above tested parameters.

***** End of the Report *****

R. PRABHU
 Senior Chemist

Laboratory Address: 39/6, Thiruvallur High Road, Puduchatram Post, Thirumazhisai Via, Poonamallee Taluk, Chennai – 600124.

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The laboratory's responsibility under this report is limited to proven willful negligence and will in no case be more than the invoiced amount. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611823000022682F

Page 1 of 1

Report No : QEN23070336-03

Report Date : 24 Jul 2023

Customer Name : M/s. Shriprop Structure Pvt Ltd
Customer Address : S.No: 16/4A, 4B, ETC, Perumattunallur Village, Chengalpattu District.

Sample Name : Noise
Sample Description : Ambient Noise
Reference : Test Request Form Dated 19.07.2023
Sample Drawn By : Laboratory
Sample Location : Near Technical Office
Sample Procedure : IS 9989

TEST RESULTS

S.No	Date	Time	Noise Level Leq dB (A)	CPCB Standards (Industrial Area) for Noise in Leq dB(A)
1	19.07.2023	09.30 am	48.8	
2	19.07.2023	10.30 am	48.0	
3	19.07.2023	11.30 am	47.9	
4	19.07.2023	12.30 pm	48.1	
5	19.07.2023	01.30 pm	48.8	
6	19.07.2023	02.30 pm	48.8	
7	19.07.2023	03.30 pm	49.1	
8	19.07.2023	04.30 pm	48.3	
9	19.07.2023	05.30 pm	48.8	
10	19.07.2023	06.30 pm	48.9	
11	19.07.2023	07.30 pm	49.1	
12	19.07.2023	08.30 pm	49.5	
13	19.07.2023	09.30 pm	48.3	
14	19.07.2023	10.30 pm	49.2	
15	19.07.2023	11.30 pm	49.1	
16	20.07.2023	12.30 am	48.9	
17	20.07.2023	01.30 am	48.1	
18	20.07.2023	02.30 am	48.0	
19	20.07.2023	03.30 am	48.3	
20	20.07.2023	04.30 am	48.8	
21	20.07.2023	05.30 am	49.4	
22	20.07.2023	06.30 am	50.0	
23	20.07.2023	07.30 am	49.8	
24	20.07.2023	08.30 am	50.4	
25	20.07.2023	09.30 am	50.3	

Remarks : The above tested sample conforms the CPCB standards for the above tested locations.

***** End of the Report *****

R. PRABHU
Senior Chemist

Laboratory Address: 39/6, Thiruvallur High Road, Puduchatram Post, Thirumazhisai Via, Poonamallee Taluk, Chennai - 600124.

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The laboratory's responsibility under this report is limited to proven willful negligence and will in no case be more than the invoiced amount. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611823000022682F

Report No : QEN23070336-03.01

Page 1 of 1

Report Date : 24 Jul 2023

Customer Name : M/s. Shriprop Structure Pvt Ltd
Customer Address : S.No: 16/4A, 4B, ETC, Perumattunallur Village, Chengalpattu District.
Sample Name : Noise
Sample Description : Ambient Noise **Sampling Date** : 19 to 20 Jul 2023
Reference : Test Request Form Dated 19.07.2023 **Sample Received on** : 20 Jul 2023
Sample Drawn By : Laboratory
Sample Location : Near Tower Building - II
Sample Procedure : IS 9989

TEST RESULTS

S.No	Date	Time	Noise Level Leq dB (A)	CPCB Standards (Industrial Area) for Noise in Leq dB(A)
1	19.07.2023	09.40 am	50.3	
2	19.07.2023	10.40 am	50.2	
3	19.07.2023	11.40 am	49.4	
4	19.07.2023	12.40 pm	49.2	
5	19.07.2023	01.40 pm	49.8	
6	19.07.2023	02.40 pm	47.7	
7	19.07.2023	03.40 pm	48.2	
8	19.07.2023	04.40 pm	48.6	
9	19.07.2023	05.40 pm	48.6	
10	19.07.2023	06.40 pm	48.7	
11	19.07.2023	07.40 pm	49.2	
12	19.07.2023	08.40 pm	49.9	
13	19.07.2023	09.40 pm	49.5	(For Day Time) 75
14	19.07.2023	10.40 pm	48.5	(For Night Time) 70
15	19.07.2023	11.40 pm	48.6	
16	20.07.2023	12.40 am	48.9	
17	20.07.2023	01.40 am	48.9	
18	20.07.2023	02.40 am	48.6	
19	20.07.2023	03.40 am	48.9	
20	20.07.2023	04.40 am	49.7	
21	20.07.2023	05.40 am	49.8	
22	20.07.2023	06.40 am	49.0	
23	20.07.2023	07.40 am	49.1	
24	20.07.2023	08.40 am	49.3	
25	20.07.2023	09.40 am	49.6	

Remarks : The above tested sample conforms the CPCB standards for the above tested locations.

***** End of the Report *****

R. PRABHU
Senior Chemist

Laboratory Address: 39/6, Thiruvallur High Road, Puduchatram Post, Thirumazhisai Via, Poonamallee Taluk, Chennai – 600124.

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The laboratory's responsibility under this report is limited to proven willful negligence and will in no case be more than the invoiced amount. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611823000022710F

Report No : QEN23070336-04

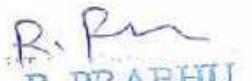
Page 1 of 2

Report Date : 24 Jul 2023

Customer Name : M/s. Shriprop Structure Pvt Ltd
Customer Address : S.No: 16/4A, 4B, ETC, Perumattunallur Village, Chengalpattu District.
Sample Name : Water **Sample Quantity** : 5 Ltr x 1No
Sample Description : Drinking Water **Sampling Date** : 19 Jul 2023
Reference : Test Request Form Dated 19.07.2023 **Sample Received on** : 20 Jul 2023
Sample Drawn By : Laboratory **Test Started on** : 21 Jul 2023
Sample Location : Near Tower Building 11 **Test Completed on** : 24 Jul 2023
Sample Procedure : SMSLA/EN/SOP/001, SMSLA/MB/SOP/06

TEST RESULTS

S.NO	Parameter	Test Method	Unit	Results	Requirements as per IS 10500-2012-Amd:4	
					Acceptable Limit	Permissible Limit in the absence of alternative source
Chemical						
1	Silica as SiO ₂	IS 3025 (Part 35)	mg/L	14	--	--
Clause 4, Table 1 Organoleptic And Physical parameters						
2	Colour	IS 3025 (Part 04)	Hazen	2.0	5.0 Max	15.0 Max
3	Odour	IS 3025 (Part 05)	--	Agreeable	Agreeable	Agreeable
4	pH Value	IS 3025 (Part 11)	--	7.40	6.5 - 8.5	No Relaxation
5	Total Dissolved Solids	IS 3025 (Part 16)	mg/L	412	500.0 Max	2000.0 Max
6	Turbidity	IS 3025 (Part 10)	NTU	Less than 0.1	1.0 Max	5.0 Max
Clause 4, Table 2 General Parameters Concerning Substances Undesirable In Excessive Amounts						
7	Calcium (as Ca)	IS 3025 (Part 40)	mg/L	46	75.0 Max	200.0 Max
8	Chloride (as Cl)	IS 3025 (Part 32)	mg/L	160	250.0 Max	1000.0 Max
9	Free Residual Chlorine	IS 3025 (Part 26)	mg/L	BLQ(LOQ:0.1)	0.2 Min	1.0 Min
10	Iron (as Fe)	IS 3025 (Part 53)	mg/L	BLQ(LOQ:0.05)	1.0 Max	No Relaxation
11	Magnesium (as Mg)	IS 3025 (Part 46)	mg/L	21	30.0 Max	100.0 Max
12	Sulphate (as SO ₄)	IS 3025 (Part 24) Sec 1	mg/L	25	200.0 Max	400.0 Max
13	Total Alkalinity (as CaCO ₃)	IS 3025 (Part 23)	mg/L	194	200.0 Max	600.0 Max
14	Total Hardness (as CaCO ₃)	IS 3025 (Part 21)	mg/L	203	200.0 Max	600.0 Max


R. PRABHU
 Senior Chemist

Laboratory Address: 39/6, Thiruvallur High Road, Puduchatram Post, Thirumazhisai Via, Poonsamallee Taluk, Chennai – 600124.

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The laboratory's responsibility under this report is limited to proven willful negligence and will in no case be more than the invoiced amount. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED
TEST REPORT



TC-6118

ULR - TC61182300022710F
Report No : QEN23070336-04

Page 2 of 2
Report Date : 24 Jul 2023

S.NO	Parameter	Test Method	Unit	Results	Requirements as per IS 10500-2012-Amd:4	
					Acceptable Limit	Permissible Limit in the absence of alternative source
Others						
15	Calcium Hardness (as CaCO ₃)	IS 3025 (Part 40)	mg/L	115	--	--
16	Carbonate Hardness as CaCO ₃	IS 3025 (Part 21)	mg/L	194	--	--
17	Conductivity @ 25°C	IS 3025 (Part 14)	µS/cm	687	--	--
18	Magnesium Hardness (as CaCO ₃)	IS 3025 (Part 46)	mg/L	88	--	--
19	Non-Carbonate Hardness as CaCO ₃	IS 3025 (Part 21)	mg/L	BLQ(LOQ:1.0)	--	--
20	Phenolphthalein Alkalinity (as CaCO ₃)	IS 3025 (Part 23)	mg/L	BLQ(LOQ:2.0)	--	--
21	Total suspended solids (TSS)	IS 3025 (Part 17)	mg/L	BLQ(LOQ:2.0)	--	--

Note : BLQ: Below Limit of Quantification LOQ: Limit of Quantification.

Free Residual Chlorine Limit to be applicable only for Chlorinated Water.

Remarks : The Bore Well Water sample conforms to the requirements of Permissible Limits as per IS 10500:2012 : Amd : 4 for the Parameters tested above.

***** End of the Report *****

R. PRABHU
Senior Chemist

Laboratory Address: 39/6, Thiruvallur High Road, Puduchatram Post, Thirumazhisai Via, Poonamallee Taluk, Chennai - 600124.

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SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611823000022711F

Report No : QEN23070336-05

Page 1 of 1

Report Date : 24 Jul 2023

Customer Name : M/s. SHRIPROP STRUCTURES PVT LTD.
Customer Address : S.No.16/4A, 4B ETC, Perumattunallur Village, Chengalpattu Taluk, Chengalpattu District.
Sample Description : Stack Emission Monitoring **Sampling Date** : 19 Jul 2023
Reference : Test Request Form Dated 19.07.2023 **Sample Received on** : 20 Jul 2023
Sample Drawn By : Laboratory **Test Started on** : 20 Jul 2023
Sample Location : DG 62 KVA **Test Completed on** : 24 Jul 2023
Sampling Procedure : IS 11255 & SMSLA/EN/SOP/017
Diameter of Stack (m) : 0.1 m **Ambient Temperature** : 38°C

TEST RESULTS

S.NO	Parameter	Test Method	Unit	Results	Limit as per CPCB Specification
Chemical					
1	Carbon Dioxide as CO ₂	SMSLA/EN/SOP/017 - 2024	%	3.5	--
2	Carbon Monoxide as CO	SMSLA/EN/SOP/017 - 2024	g/kw-hr	0.21	3.5 Max
3	Nitrogen Oxides as NO _x	SMSLA/EN/SOP/017 - 2024	g/kw-hr	0.23	0.40 Max
4	Oxygen as O ₂	SMSLA/EN/SOP/017 - 2024	%	16.3	--
5	Particulate Matter	IS 11255 (Part 01) - 1985 (Reaffirmed 2019)	g/kw-hr	0.008	0.02 Max
6	Stack temperature	IS 11255 (Part 03) - 2008 (Reaffirmed 2018)	K	489	--
7	Sulphur Dioxide as SO ₂	IS 11255 (Part 02) - 1985 (Reaffirmed 2019)	mg/Nm ³	BLQ(LOQ:3.0)	--
8	Velocity	IS 11255 (Part 3) - 2008 (Reaffirmed 2018)	m/s	10.1	--
9	Volume of Gas Discharged	IS 11255 (Part 3) - 2008 (Reaffirmed 2018)	Nm ³ /hr	285	--

Note : BLQ : Below Limit of Quantification LOQ : Limit of Quantification.

Conclusion : The above tested Sample Conforms to the CPCB Standards for the above tested Parameters.

***** End of the Report *****

M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: 39/6, Thiruvallu; High Road, Puduchatram Post, Thirumazhisai Via, Poonamallee Taluk, Chennai - 600124.

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/ are said to be extracted.

Annexure 19
PUC Certificate

Form 59

(See rules 115 (2))

Pollution Under Control Certificate

Authorised By :

State Transport Department

Date : 14/02/2024
 Time : 17:15:12 PM
 Validity upto : 13/03/2025



Chennai 01, TN
 Registration No : TN11UA27410
 Date of Registration : 25/01/2017
 Month & Year of Manufacture : April 2017
 Vehicle Number : 44444444
 Emission Norms : BHARAT STAGE III/IV
 Fuel : DIESEL
 PUC Date : 14/02/2024
 OTR/OTR : TRAILER/005
 Fees : Rs 110.00
 MR. Observation : No

Vehicle Photo with Registration plate
 60 mm x 30 mm



Sr. No.	Pollutant (as applicable)	Units (as applicable)	Emission limits	Measured value (upto 2 decimal places)
1	Carbon Monoxide (CO)	percentage (%)	2500 ± 200	5
	Hydrocarbon (THC/MC)	ppm		
2	CO	percentage (%)	2500 ± 200	5
	THC	ppm		
3	Particulate	-	1.4 ± 0.0	1.26
	Smoke Density	1/metre		

This PUC certificate is system generated through the national register of motor vehicles and does not require any signature.

Note : 1. Vehicle owners to link their mobile numbers to registered vehicle by logging to <https://puc.parivahan.gov.in>

Authorised Signature with stamp of PUC Operator
 60mm x 20 mm


SRI VELMURGAN
 POLLUTION TESTING CENTRE
 G.S.T. Road, Attapur Main
 Madhavaram - 600 094

Annexure 20
Fly Ash Bricks Utilization

FLY ASH BRICKS UTILIZATION



Annexure 21

Cube Test Report and Register



Delta Lab

DELTA INSPECTION AND
RESEARCH CENTREPlot. No.108, Shanthi Nagar, Perumbakkam,
Chennai - 600 100.

Ph : 044 - 4783 6442, 98409 74744.

deltalabindia@gmail.com, www.deltalabindia.com.

ISO/IEC 17025:2017
accredited testing
laboratory by

NABL

vide Certificate
No. TC-7451.

TC-7451

TEST REPORT

COMPRESSIVE STRENGTH OF CONCRETE CORE

ULR No : TC745124000006045F

Report Date : 02-02-2024

Issued to: M/s. Kuppan Construction., New No: 26/3 (Old No: 77/3), Ramalingeswarar Kovil Street, Theynampet, Chennai - 600018							TC No.		: 01-2024/4038-12110					
Project : -Tower - 24, Client Name : Srilam Shankari, Location : Footings,							Party's Reference		: TRP/Dated: 30-01-2024					
							Date of Receipt		: 30-01-2024					
							Sample drawn by		: Customer					
							* Design mix grade		: M25					
							* Date of Casting		: 27-01-2024					
							* Concrete Age		: Morethan 28 days					
							* Date of Testing		: 30-01-2024					
							Test method		: IS 516 (P-4); 2018					
							Page		: 1 of 1					
							Capping material		: Epoxy Resin-4.2					
SL No	* Core Identification	** Core length (in mm)	Core dia. (in mm)	** Weight (kg)	Density of a core (kg/mm ³)	CA in mm ²	Core Failure Load (KN)	Measure d Comp. Strength (N/mm ²)	Dis Connection Factor	Corrected Comp strength for dis connection factor (N/mm ²)	U/d Ratio	** Corrected on factor for U/d ratio	Corrected Cyl. Comp Strength (N/mm ²)	SS Equivalent at Cube Comp. Strength (N/mm ²)
1	Pour Card No: 002 & 003,	125.1	67.7	1.077	418.4	3601.8	93.3	25.9	1.06	27.5	1.9	0.98	27.0	33.8
2	Pour Card No: 002 & 003,	118.1	67.7	1.029	413.3	3599.7	100	27.9	1.06	29.6	1.75	0.97	28.8	35.9
3	Pour Card No: 002 & 003,	124.5	67.7	1.094	410.1	3601.8	91	25.3	1.06	26.8	1.84	0.98	26.3	32.9
4	Pour Card No: 002 & 003,	106.9	68.0	0.931	417.6	3636.0	67.2	18.5	1.06	19.6	1.57	0.95	18.7	23.3
5	Pour Card No: 002 & 003,	123.7	67.8	1.074	415.6	3608.2	106	29.3	1.06	31.1	1.83	0.98	30.5	38.1
6	Pour Card No: 002 & 003,	117.5	67.6	1.027	410.9	3591.2	97.3	27.1	1.06	28.7	1.74	0.97	27.9	34.9
Average													33.1	

TEST WITNESSED BY : Mr.Umesh, & Mr.Raja Selvar

Note

- The results given in this test report are only for the sample(s) tested.
- All the details as furnished by the client. Samples & its condition as supplied by the client.**
- ** Core length and core weight after trimming and capping.
- *** As U/d ratio is less than 2.0, correction factor is considered (Reference IS 516 (Part 4), Clause 5.7 & 8.4)
- As dia is less than 70 mm, correction factor of 1.06 is considered (Reference IS 516 (Part 4), Clause 8.4.1)
- SS Equivalent cube compressive strength = (5/4) x corrected cylinder strength (Reference IS 516 (Part 4), Clause 8.4)
- Above test item and its relevant information regarding to the submission are provided and confirmed by the customer. Delta Lab is not liable. Equivalent cube strength for the individual cube should be more than 75% and average of the 3 cubes should be more than 85%.



Dr. P. Niranjan Ruba

Reviewed by

Authorised Signatory

Note: Certified that the test enumerated above have been carried out in conformity with standard testing procedure and relevant specifications. The certificate refers ONLY to the particular sample(s) submitted to test. Sample description not verified. All results and graphs are referred to customer. All complaints about this should be raised within 10 days from the date of issue of this report. Except by special arrangement, samples shall not be retained by the laboratory for more than 10 days. This test report is not to be reproduced except in full without written approval of the laboratory. Statement of liability: Delta Lab is not liable for any inaccuracies or errors in this report as per our terms.

Dated: 02-02-2024

Rajan Robert

T-26

CUBE

REGISTER

VGPP INFRA

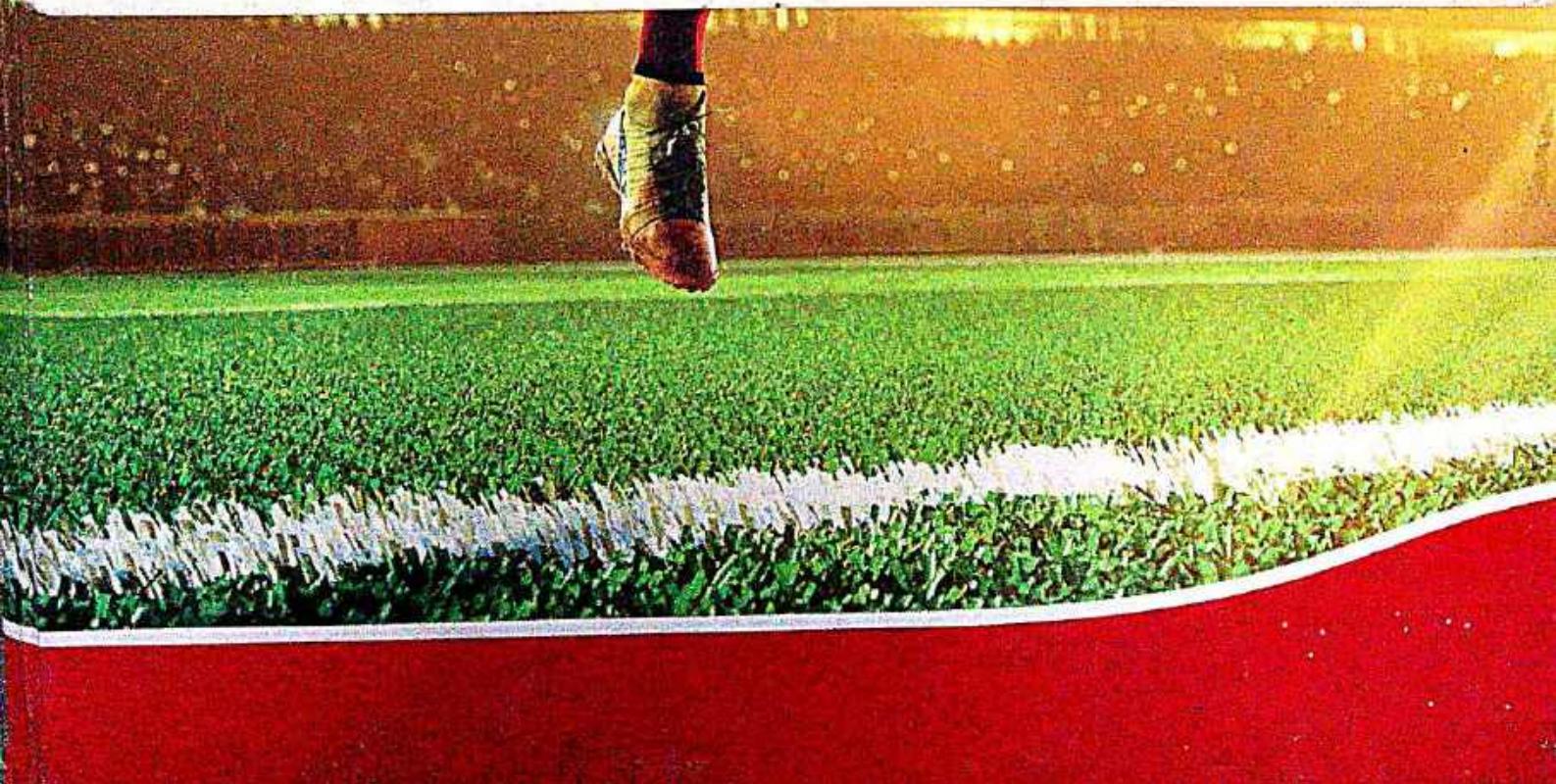


Table 2 Grades of Concrete
(Clause 6.1, 9.2.2, 15.1.1 and 36.1)

Group	Grade Designation	Specified Characteristic Compressive Strength of 150 mm Cube at 28 Days in N/mm ²
Ordinary Concrete	M 10	10
	M 15	15
	M 20	20
Standard Concrete	M 25	25
	M 30	30
	M 35	35
	M 40	40
	M 45	45
	M 50	50
	M 55	55
High Strength Concrete	M 60	60
	M 65	65
	M 70	70
	M 75	75
	M 80	80

NOTES

1. In the designation of concrete mix M refers to the mix and the number to the specified compressive strength of 150 mm size cube at 28 days, expressed in N/mm².

2. For concrete of compressive strength greater than M 55, design parameters given in the standard may not be applicable and the values may be obtained from specialized literatures and experimental results.

T - 26

CUBE REGISTER

15.2.2 Frequency

The minimum frequency of sampling of concrete of each grade shall be in accordance with the following:

Quantity of Concrete in the Work, m³ *Number of Samples*

1 - 5	1
6 - 15	2
16 - 30	3
31 - 50	4
51 and above	4 plus one

additional sample for each additional 50 m³ or part thereof

NOTE—At least one sample shall be taken from each shift. Where concrete is produced at continuous production unit, such as ready-mixed concrete plant, frequency of sampling may be agreed upon mutually by suppliers and purchasers.

Date of Casting	Location	Conc test	Date of Weighted load (hr)	Compressive Strength	Remarks	DATE	
04/10/23	Ground CE ₃ - (6-E 10-E)	M20	7	11/8/23 8.260	8.434 650	28.8	
					8.40 620	27.5	
					8.254 720	32.0	
					8.312 650	28.8	
					8.413 670	27.7	
05/10/23	1/D-E Sw. C, C ₂	M20	7	12/10/23 8.105	510 500	25.3 22.2	23.8
					7.922 680	30.02	
					21/9/23 7.93	30.02	
					7.90 710	31.55	
					8.28 660	28.44	
3.	04/10/23 C ₁₀ (Fin + EF)	M20	7	14/10/23 8.070	1.950 1.60	20.24 19.9	20.76
					8.050 500	22.2	
					28 8.192	25.77	
					8.20 510	25.83	
					8.21 620	27.55	
4.	10/10/23 CE ₁₀ , C ₄ 10E, C ₆ 10E, M25	7	17/10/23 8.497	7.90 0.62	480 20.6	24.12 J D	CE ₁₀
					8.155 590	26.2	
					8.271 610	28.44	
					8.64 700	31.0	
					8.30 680	30.22	
5	14/10/23 Sw. 1, Sw. 2, Sw. 3, M20 (Ground 7-8 10-E)	7	21/10/23 8.506	520	23.41 22.5	23.21 1.100 CE ₁₀	CE ₁₀
					8.120 600	23.2	
					8.553 600	26.6	
					8.250 710	29.7	
					8.268 640	31.55 28.44	

DATE	Age of con- crete	Date of test	Weight (kg)	Compressive Strength (kg/cm ²)	SSPC	Remark
6	13/8/29	F12/25, F10/124C C12/122B-C, F12/16C F12/12'D, F16/12E S12/12'E	1725	7 20/8/23 71.572 7.821 7.924 8.090	350 15.55 360 16.50 290 12.58 692 30.8	14.81 ✓ ✓ ✓ ✓
7	16/8/29	F12/24C, F10/123C F10/122E, F10/121C	1720	7 23/8/23 8.046 8.1693	390 17.33 380 16.88	17.63 ✓ ✓
8	17/8/23	S11/120A, C7/112B C11/100C, C5/119A C6/119B, C10/19C C12/19C, C4/130A, C4/124C	1925	7 24/8/23 8.132 7.919 7.98 7.62 7.98	470 20.88 520 23.11 520 23.55 1180 21.33 640 25.74 580 ✓	23.15 ✓ ✓ ✓ ✓ ✓ ✓
9	22/8/23	CF1/1445D, CF2/1415C CF1/114 15E, F12/122C F16/122, F7/125B	1920	7 29/8/23 8.160 8.16 8.00	520 12.3, 19.11 480 21.33 640 28.44	25.74 ✓ ✓ ✓
10	24/8/23	25'C/12/12, 25C/12P F17/15 7B/12C, F17C/10, 12/10, 1/C1 12'E/15C, 112E/C4 12F/1C5	1925	7 30/8/23 8.149 8.14 8.28 8.28	440 19.55 480 21.33 520 23.11 570 25.33	25.01 ✓ ✓ ✓ ✓
					8.00 27.11 640 26.96	✓ ✓
					8.00 28.44	✓

Date End.	Date of Curing	Location	Specimen Test	Specimen No.	Specimen Age at test	Strength (kg)	Initial load (kg)	4 days load (kg)	28 days load (kg)	Avg	DATE
											Remarks
11	28/9/23	(14.15/18, C2)	M25	7	4/9/23	18.26	585	26.0			
		(14.15/12, C4)				4.978	640	29.47			
		(14.15/12, C2)	28	25/9/23	8.23	450	20.00				
						7.84	680	30.0			
						8.01	710	31.55			
12	• 19/123	CE4/11 B-C	M20	7	28/9/23	8.29	365	16.22			
		F10/15C				8.21	380	16.88			
		F11/14C				8.10	371	16.488			
		CF3 / 7-8/10-E	1-28	29/9/23	8.18	470		20.88			
		(Slab)				8.10	425	18.88			
						8.21	540	21.25			
						8.20	540	24.00			
13	• 219/123	F4/12C	M20	7	09/10/23	8.48	390	17.93			
		F11/13C				8.27	500	20.22			
		F4/12C				8.38	400	18.66			
						8.30	560	24.08			
						8.35	650	28.58			
						8.38	580	26.51			
						8.38	570	25.77			
14	03/9/23	14/15, B/10, 14/15/Slab	M25	7	10/9/23	8.23	600	27.5			
						8.0	580	24.44			
						8.10	615	27.33			
						8.28	1-10-23	23.33			
						8.023	700	32.0			
						8.10	640	28.0			
						8.10	640	33.33			
15	05/9/23	Slab-1	M25	7	12/9/23	8.42	435	19.33			
		(1/18-C)				8.03	460	21.33			
		Shearwall-1				8.12	560	24.00			
						8.265	500	31.11			
						8.30	588	30.03			
						8.30	522	30.23			
						8.230	680	7.12.23			

Date of Casting	Location	Grain Size of Core Test Part	Weight (kg)	Load (kN)	1 day 28 days	SCCP	SSPL	Comment
16/9/23	20/Fo, 2C/Fo/B	100-120 ¹	13/9/23	7.92	13.5	19.33	1.50 1.50	
17/9/23	SW 1 Solitaire Stonewall (C9/B2)	100-120 ²	16/9/23	7.92	12.0	16.66		
18/9/23	10/Fo, 1C-4C/Fo	100-120 ³	17/9/23	8.18	14.0	19.55		
19/9/23	19/Fo, 1C-4C/Fo 11/Clean	100-120 ⁴	18/9/23	8.12	14.0	19.33	1.50 1.50	OK
20/9/23	2A/Fo, 1-2B/Fo 3B/Fo, 1B/Fo 5B/Fo	100-120 ⁵	19/9/23	8.02	14.0	19.33	1.50 1.50	OK
21/9/23	8.420	650	19/9/23	8.12	14.0	19.33	1.50 1.50	OK
22/9/23	8.235	520	19/9/23	8.02	14.0	19.33	1.50 1.50	OK
23/9/23	8.248	485	19/9/23	8.12	14.0	19.33	1.50 1.50	OK
24/9/23	8.139	520	19/9/23	8.02	14.0	19.33	1.50 1.50	OK
25/9/23	8.235	520	19/9/23	8.12	14.0	19.33	1.50 1.50	OK

DATE DATE

Date of Casting

Location

Conc. Test Test.

Spec. Age of Mfg

Weight (kg)

Load (KN)

7 days Ductile Avg

Compressive Strength

UICPP

SSPL

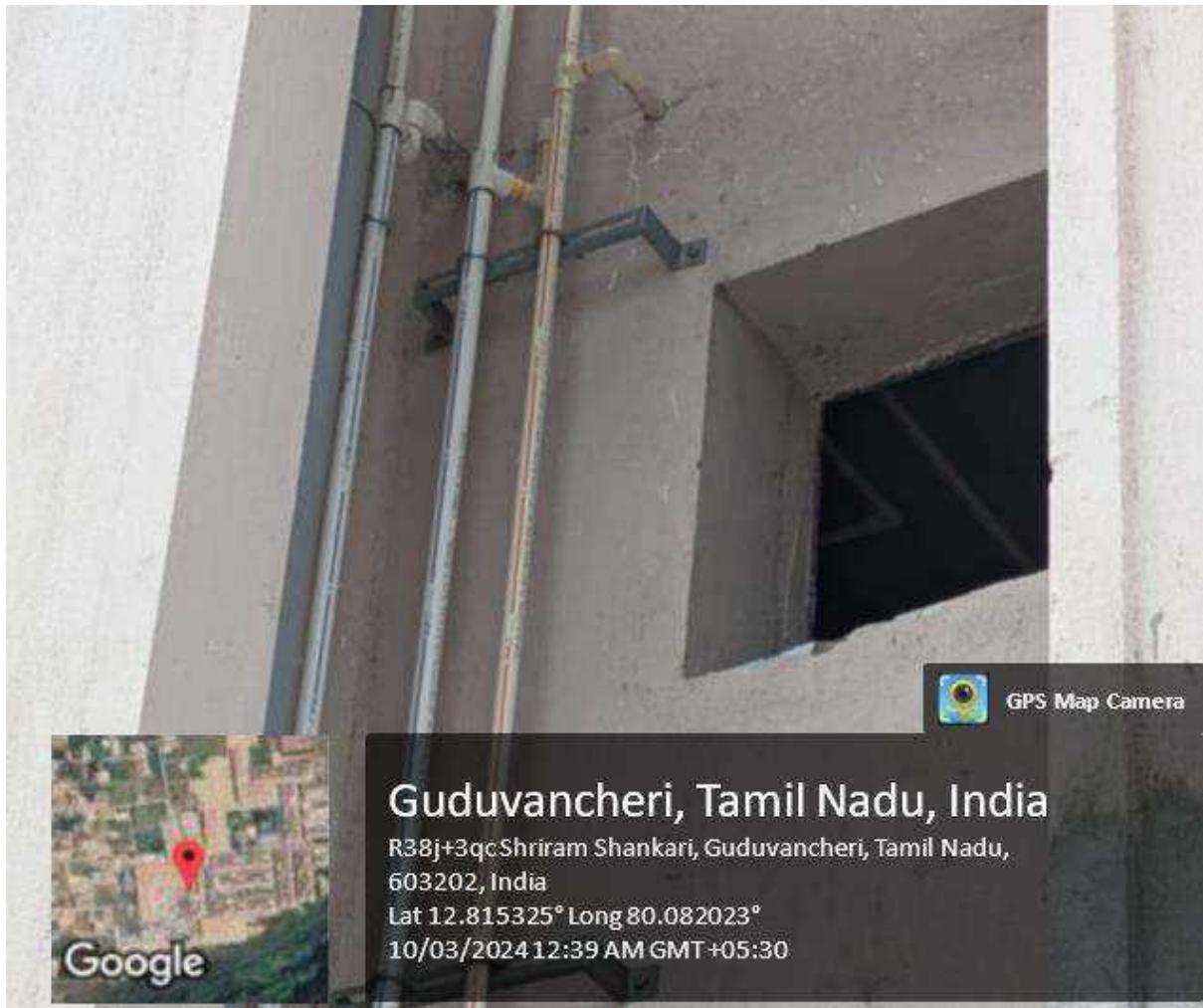
Recover

26	19/9/2022	E-E, 21.3, 6, \Rightarrow P ₂₁ , P ₂₄ , P ₂₆ , 4 P ₂₄	120 7days 26/9/22	8.26	425	12.88	19.72	1.04
27	20/9/2022	2-5-1F \Rightarrow P ₂₂ , P ₂₃ , P ₂₅ , 2 days	17 19/9/22	8.612	429	16.84	22.80	1.04
28	21/9/2022	2-5-1F \Rightarrow P ₂₂ , P ₂₃ , P ₂₅ , 2 days	17 19/9/22	8.135	515	21.72	22.62	1.04
29	22/9/2022	2-5-1F \Rightarrow P ₂₂ , P ₂₃ , P ₂₅ , 2 days	17 19/9/22	8.176	595	23.23	21.52	1.04

26	20/9/2022	Column (2E/1c4), (2E/1c5)	120 7days 24/9/22	8.180	600	24.50	3022	1.12-1
27	21/9/2022	5F - 1c5	120 7days 24/9/22	8.155	650	26.0	25.20	1.04
28	22/9/2022	6E - 1c4	120 7days 24/9/22	8.210	640	25.6	31.77	1.04
29	23/9/2022	3E - 1c4	120 7days 24/9/22	8.028	475	30.88	30.14	1.04
30	24/9/2022	4E - 1c4	120 7days 24/9/22	8.148	625	27.77	21.22	1.04
31	25/9/2022	5E - 1c4	120 7days 24/9/22	8.053	750	29.2	28.36	1.04
32	26/9/2022	6E - 1c4	120 7days 24/9/22	8.163	680	27.8	28.36	1.04
33	27/9/2022	(2D, cD), C3D - (1c4)	120 7days 24/9/22	8.125	620	28.40	27.55	1.04
34	28/9/2022	(4D/1c4) (5D/1c4)	120 7days 24/9/22	8.280	695	30.88	30.32	1.04
35	29/9/2022	7E - 1c4	120 7days 24/9/22	8.30	740	32.98	31.22	1.04
36	30/9/2022	8E - 1c4	120 7days 24/9/22	8.085	650	26.0	21.5	1.04
37	31/9/2022	Plants Beam	120 7days 01/10/22	8.125	420	29.25	26.9	1.04
38	01/10/2022	D-E, 1, 2, 3, 4, 5 = P ₂	120 7days 01/10/22	8.125	420	24.02	26.9	1.04
39	02/10/2022	P ₂₃ , P ₂₅ , P ₂₃	120 7days 01/10/22	8.125	600	24.02	26.9	1.04
40	03/10/2022	E 1-5 = P ₂₅ , P ₂₄ , P ₂₄	120 7days 01/10/22	8.132	685	30.80	30.95	1.04
41	04/10/2022	D 1-5 = P ₂₃ , P ₂₄ , P ₂₄	120 7days 01/10/22	8.112	715	31.93	31.25	1.04
42	05/10/2022	Plants	120 7days 01/10/22	8.111	620	31.7	31.25	1.04

Annexure 22
Dual Plumbing System

DUAL PLUMBING SYSTEM



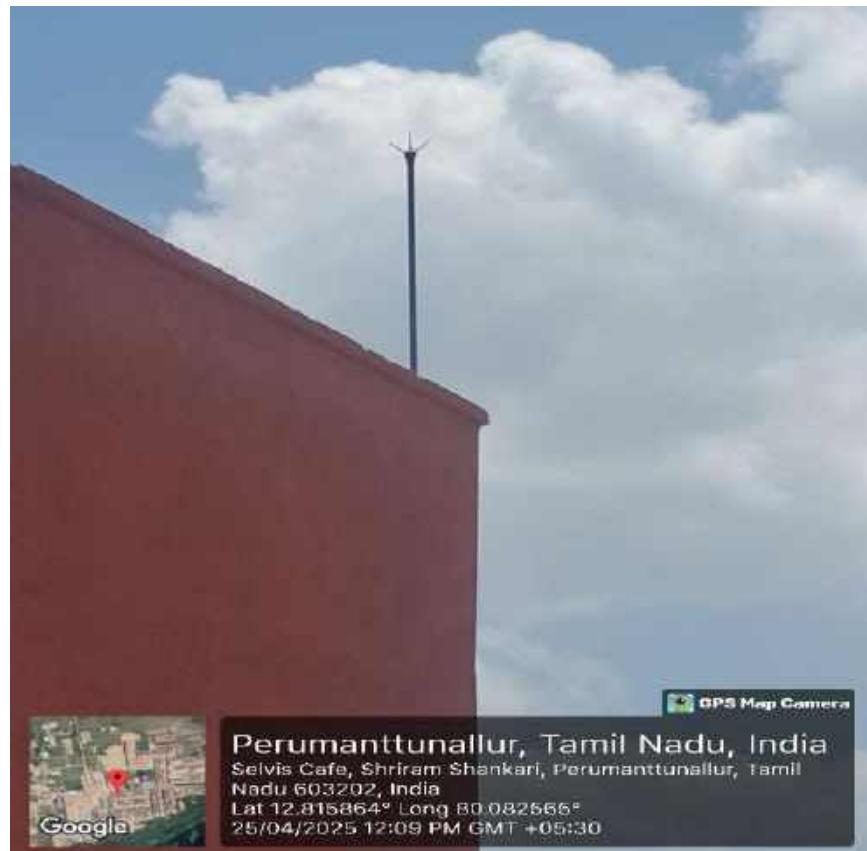
Guduvancheri, Tamil Nadu, India

R38j+3qc Shriram Shankari, Guduvancheri, Tamil Nadu,
603202, India

Lat 12.815325° Long 80.082023°
10/03/2024 12:39 AM GMT +05:30

Annexure 23

Lightning Arrestor installation



Annexure 24

Fire Safety Measures

FIRE SAFETY SYSTEMS



Fire Sprinklers



Emergency Fire Alarm System



Emergency Fire Staircase



Fire Extinguisher & Sand Bucket



Two Way fire brigade inlet



Fire Hose Box

Annexure 25

Operation Phase Monitoring Reports



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611826000002765F

Report No : ENO260113018-01

Page 1 of 1

Report Date : 19 Jan 2026

Customer Name	M/s. SHRIPROP STRUCTURES PVT LTD.				
Customer Address	S.No.16/4A, 4B ETC, Perumattunallur Village, Chengalpattu Taluk, Chengalpattu District.				
Sample Name	Ambient Air Quality Monitoring	Sampling Date & Time	15 to 16 Jan 2026 10.00 am to 10.00 am		
Sample Description	Ambient Air Quality Monitoring	Sample Received on	16 Jan 2026		
Reference	Test Request Form Dated 12.01.2026	Test Started on	16 Jan 2026		
Sample Drawn By	Laboratory	Test Completed on	19 Jan 2026		
Sample Location	Near Technical Office				
Sampling Procedure	IS 5182				
Relative Humidity	65%	Ambient Temperature	29°C		

TEST RESULTS

S.NO	Parameter	Test Method	Results	Unit	Limit as per NAAQS Specification
Chemical					
1	Ammonia as NH3	IS 5182 (Part 25) - 2018	BLQ(LOQ:20.0)	µg/m³	400 Max
2	Carbon Monoxide as CO (8hrs)	IS 5182 (Part 10) - 1999 (Reaffirmed 2019)	BLQ(LOQ:1.14)	mg/m³	02 Max
3	Nitrogen dioxide as NO2	IS 5182 (Part 06) - 2006 (Reaffirmed 2022)	20.5	µg/m³	80 Max
4	Ozone as O3	IS 5182 (Part 09) - 1974 (Reaffirmed 2019)	BLQ(LOQ:20.0)	µg/m³	180 Max
5	Particulate Matter (PM10)	IS 5182 (Part 23) - 2006 (Reaffirmed 2022)	57.2	µg/m³	100 Max
6	Particulate Matter (PM2.5)	IS 5182 (Part 24) - 2019	28.1	µg/m³	60 Max
7	Sulphur Dioxide as SO2	IS 5182 (Part 02) - 2001 (Reaffirmed 2022)	9.2	µg/m³	80 Max
Polyyclic Aromatic Hydrocarbons (PAHs)					
8	Benzo(a)Pyrene (Particulate Phase)	SMSLA/GC/SOP/46 - 2024	BLQ(LOQ:0.050)	ng/m³	01 Max
Trace Elements					
9	Arsenic	Compendium Method IO - 3.4 - 1999	BLQ(LOQ:0.100)	ng/m³	06 Max
10	Lead	Compendium Method IO - 3.4 - 1999	BLQ(LOQ:0.001)	µg/m³	1.0 Max
11	Nickel	Compendium Method IO - 3.4 - 1999	BLQ(LOQ:0.100)	ng/m³	20 Max
Volatile Organic Compounds-NAAQM					
12	Benzene	SMSLA/GC/SOP/43 - 2024	BLQ(LOQ:1.00)	µg/m³	05 Max

Note : BLQ : Below Limit of Quantification LOQ : Limit of Quantification

Conclusion : The above tested Sample Conforms to the NAAQS Standards for the above tested Parameters

N.C

***** End of the Report *****

M. Sarathkumar

Authorized Signatory-Chemical

Laboratory Address: No 396, Puduchetram, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Persistent remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/ are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED



TEST REPORT

TC-6118

ULR - TC611826000002766F

Page 1 of 1

Report No : ENO260113018-02

Report Date : 19 Jan 2026

Customer Name : M/s. SHRIPROP STRUCTURES PVT LTD.
Customer Address : S.No.16/4A, 4B ETC, Perumattunallur Village, Chengalpattu Taluk, Chengalpattu District.
Sample Name : Ambient Air Quality Monitoring **Sampling Date & Time** : 12 to 13 Jan 2026
10.10 am to 10.10 am
Sample Description : Ambient Air Quality Monitoring **Sample Received on** : 13 Jan 2026
Reference : Test Request Form Dated 12.01.2026 **Test Started on** : 13 Jan 2026
Sample Drawn By : Laboratory **Test Completed on** : 19 Jan 2026
Sample Location : Near Tower - 26
Sampling Procedure : IS 5182
Relative Humidity : 65% **Ambient Temperature** : 29°C

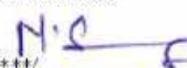
TEST RESULTS

S.NO	Parameter	Test Method	Results	Unit	Limit as per NAAQS Specification
Chemical					
1	Ammonia as NH3	IS 5182 (Part 25) - 2018	BLQ(LOQ:20.0)	µg/m³	400 Max
2	Carbon Monoxide as CO (8hrs)	IS 5182 (Part 10) - 1999 (Reaffirmed 2019)	BLQ(LOQ:1.14)	mg/m³	02 Max
3	Nitrogen dioxide as NO2	IS 5182 (Part 06) - 2006 (Reaffirmed 2022)	19.0	µg/m³	80 Max
4	Ozone as O3	IS 5182 (Part 09) - 1974 (Reaffirmed 2019)	BLQ(LOQ:20.0)	µg/m³	180 Max
5	Particulate Matter (PM10)	IS 5182 (Part 23) - 2006 (Reaffirmed 2022)	56.4	µg/m³	100 Max
6	Particulate Matter (PM2.5)	IS 5182 (Part 24) - 2019	27.1	µg/m³	60 Max
7	Sulphur Dioxide as SO2	IS 5182 (Part 02) - 2001 (Reaffirmed 2022)	9.0	µg/m³	80 Max
Polycyclic Aromatic Hydrocarbons (PAHs)					
8	Benzo(a)Pyrene (Particulate Phase)	SMSLA/GC/SOP/46 - 2024	BLQ(LOQ:0.050)	ng/m³	01 Max
Trace Elements					
9	Arsenic	Compendium Method IO - 3.4 - 1999	BLQ(LOQ:0.100)	ng/m³	06 Max
10	Lead	Compendium Method IO - 3.4 - 1999	BLQ(LOQ:0.001)	µg/m³	1.0 Max
11	Nickel	Compendium Method IO - 3.4 - 1999	BLQ(LOQ:0.100)	ng/m³	20 Max
Volatile Organic Compounds-NAAQM					
12	Benzene	SMSLA/GC/SOP/43 - 2024	BLQ(LOQ:1.00)	µg/m³	05 Max

Note : BLQ : Below Limit of Quantification LOQ : Limit of Quantification

Conclusion : The above tested Sample Conforms to the NAAQS Standards for the above tested Parameters.

***** End of the Report *****


M. Sarathkumar

Authorized Signatory-Chemical

Laboratory Address: No 39/6, Paduchatram, Thiruvallur High Road, Thirumazhisai Via, Poornamallee Tk, Thiruvallur, Chennai, Tamil Nadu, India

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SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611826000002767F

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Report No : ENO260113018-03

Report Date : 19 Jan 2026

Customer Name : M/s. SHRIPROP STRUCTURES PVT LTD.
Customer Address : S.No.16/4A, 4B ETC, Perumattunallur Village, Chengalpattu Taluk, Chengalpattu District.
Sample Name : Ambient Noise Level Monitoring (Day & Night) **Sampling Date** : 12 Jan 2026
Sample Description : Ambient Noise Level Monitoring (Day & Night) **Sample Received on** : 13 Jan 2026
Reference : Test Request Form Dated 12.01.2026 **Test Started on** : 13 Jan 2026
Sample Drawn By : Laboratory **Test Completed on** : 19 Jan 2026
Sampling Procedure : IS 9989

TEST RESULTS

SL No	Location	Noise Level dB(A)		CPCB Standards (Industrial Area) For Noise in Leq dB(A)	
		Day Time	Night Time	Day Limit	Night Limit
1	Near Technical Office	51.4	42.4	75 dB(A)	70 dB(A)
2	Near Tower - 26	52.8	43.1		

Conclusion : The above tested Sample Conforms to the CPCB Standards for the above tested Locations.

***** End of the Report *****

M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: No 396, Puducharam, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Perishable remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/ are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED



TEST REPORT

TC-6118

ULR - TC61182600002768F

Report No : ENO260113018-04

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Report Date : 19 Jan 2026

Customer Name : M/s. SHIRIPROP STRUCTURES PVT LTD.
Customer Address : S.No.16/4A, 4B ETC, Perumattunallur Village, Chengalpattu Taluk, Chengalpattu District.
Sample Description : Stack Emission Monitoring **Sampling Date** : 12 Jan 2026
Reference : Test Request Form Dated 12.01.2026 **Sample Received on** : 13 Jan 2026
Sample Drawn By : Laboratory **Test Started on** : 13 Jan 2026
Sample Location : Tower 11- DG 125 KVA **Test Completed on** : 19 Jan 2026
Sampling Procedure : IS 11255 & SMSLA/EN/SOP/017 **Ambient Temperature** : 29°C
Diameter of Stack (m) : 0.35 m

TEST RESULTS

S.NO	Parameter	Test Method	Unit	Results	Limit as per CPCB Specification
Chemical					
1	Carbon Dioxide as CO ₂	SMSLA/EN/SOP/017 - 2024	%	4.2	--
2	Carbon Monoxide as CO	SMSLA/EN/SOP/017 - 2024	g/kw-hr	0.31	3.5 Max
3	Nitrogen Oxides as NO _x	SMSLA/EN/SOP/017 - 2024	g/kw-hr	0.24	0.40 Max
4	Oxygen as O ₂	SMSLA/EN/SOP/017 - 2024	%	16.4	--
5	Particulate Matter	IS 11255 (Part 01) - 1985 (Reaffirmed 2019)	g/kw-hr	0.009	0.02 Max
6	Stack temperature	IS 11255 (Part 03) - 2008 (Reaffirmed 2018)	K	490	--
7	Sulphur Dioxide as SO ₂	IS 11255 (Part 02) - 1985 (Reaffirmed 2019)	mg/Nm ³	BLQ(LOQ:3.0)	--
8	Velocity	IS 11255 (Part 3) - 2008 (Reaffirmed 2018)	m/s	15.87	--
9	Volume of Gas Discharged	IS 11255 (Part 3) - 2008 (Reaffirmed 2018)	Nm ³ /hr	3296	--

Note : BLQ : Below Limit of Quantification LOQ : Limit of Quantification.

Conclusion : The above tested Sample Conforms to the CPCB Standards for the above tested Parameters.

***** End of the Report *****

M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: No 396, Puducharam, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Persistent remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/ are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED



TEST REPORT

TC-6118

ULR - TC611826000002769F

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Report No : ENO260113018-05

Report Date : 19 Jan 2026

Customer Name : M/s. SHRIPROP STRUCTURES PVT LTD.
Customer Address : S.No.16/4A, 4B ETC, Perumattuallur Village, Chengalpattu Taluk, Chengalpattu District.
Sample Description : Stack Emission Monitoring **Sampling Date** : 12 Jan 2026
Reference : Test Request Form Dated 12.01.2026 **Sample Received on** : 13 Jan 2026
Sample Drawn By : Laboratory **Test Started on** : 13 Jan 2026
Sample Location : Tower 26 - DG 125 KVA **Test Completed on** : 19 Jan 2026
Sampling Procedure : IS 11255 & SMSLA/EN/SOP/017
Diameter of Stack (m) : 0.35 m **Ambient Temperature** : 29°C

TEST RESULTS

S.NO	Parameter	Test Method	Unit	Results	Limit as per CPCB Specification
Chemical					
1	Carbon Dioxide as CO ₂	SMSLA/EN/SOP/017 - 2024	%	4.1	--
2	Carbon Monoxide as CO	SMSLA/EN/SOP/017 - 2024	g/kw-hr	0.30	3.5 Max
3	Nitrogen Oxides as NO _x	SMSLA/EN/SOP/017 - 2024	g/kw-hr	0.29	0.40 Max
4	Oxygen as O ₂	SMSLA/EN/SOP/017 - 2024	%	16.7	--
5	Particulate Matter	IS 11255 (Part 01) - 1985 (Reaffirmed 2019)	g/kw-hr	0.008	0.02 Max
6	Stack temperature	IS 11255 (Part 03) - 2008 (Reaffirmed 2018)	K	493	--
7	Sulphur Dioxide as SO ₂	IS 11255 (Part 02) - 1985 (Reaffirmed 2019)	mg/Nm ³	BLQ(LOQ:3.0)	--
8	Velocity	IS 11255 (Part 3) - 2008 (Reaffirmed 2018)	m/s	15.78	--
9	Volume of Gas Discharged	IS 11255 (Part 3) - 2008 (Reaffirmed 2018)	Nm ³ /hr	3267	--

Note : BLQ : Below Limit of Quantification LOQ : Limit of Quantification.

Conclusion : The above tested Sample Conforms to the CPCB Standards for the above tested Parameters.

***** End of the Report *****

N.C

M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: No 396, Puduchetram, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Persistent remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/ are said to be extracted.



SMS LABS SERVICES PRIVATE LIMITED

TEST REPORT



TC-6118

ULR - TC611826000002770F

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Report No : ENO260113018-06

Report Date : 19 Jan 2026

Customer Name : M/s. SHRIPROP STRUCTURES PVT LTD.
Customer Address : S.No.16/4A, 4B ETC, Perumattunallur Village, Chengalpattu Taluk, Chengalpattu District.
Sample Name : STP Outlet Water **Sample Quantity** : 5 Ltr x 1 No
Sample Description : STP Outlet Water **Sampling Date** : 12 Jan 2026
Reference : Test Request Form Dated 12.01.2026 **Sample Received on** : 13 Jan 2026
Sample Drawn By : Laboratory **Test Started on** : 13 Jan 2026
Sample Location : STP Area **Test Completed on** : 19 Jan 2026
Sampling Procedure : SMSLA/EN/SOP/001

TEST RESULTS

S.NO	Parameter	Test Method	Unit	Results	As per NGT Limit
Chemical					
1	BOD at 27°C for 3 days	IS 3025 (Part 44) - 2023	mg/L	BLQ(LOQ:2.0)	10 Max
2	Chloride as Cl	APHA 24th Edition 4500 Cl B - 2023	mg/L	234	--
3	COD	IS 3025 (Part 58) - 2023	mg/L	5.0	50 Max
4	Oil and Grease	APHA 24th Edition 5520 - 2023	mg/L	BLQ(LOQ:4.0)	--
5	Sulphate as SO4	APHA 24th Edition 4500 SO4 E - 2023	mg/L	64	--
6	Total Nitrogen as N	SMSLA/WT/SOP/034 - 2024	mg/L	3.1	10 Max
7	Total Phosphorus as P	APHA 24th Edition 4500 P B, D - 2023	mg/L	0.24	1.0 Max
Physical					
8	pH at 25°C	APHA 24th Edition 4500 II+ B - 2023	--	7.46	5.5 - 9.0
9	Total Dissolved Solids @ 550°C	APHA 24th Edition 2540 C - 2023	mg/L	978	--
10	Total Suspended Solids (TSS)	APHA 24th Edition 2540 D - 2023	mg/L	BLQ(LOQ:2.0)	20 Max

Note : MPN : Most Probable Number. BLQ : Below Limit of Quantification LOQ : Limit of Quantification.

Remarks : The STP Outlet Water Sample Conforms to the NGT Discharge limit for the Parameters tested above.

***** End of the Report *****

M.S

M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: No 396, Puducharam, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

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SMS LABS SERVICES PRIVATE LIMITED



TEST REPORT

TC-6118

ULR - TC61182600002771F

Page 1 of 2

Report No : ENO260113018-07

Report Date : 19 Jan 2026

Customer Name	M/s. SHRIPROP STRUCTURES PVT LTD.				
Customer Address	S.No.16/4A, 4B ETC, Perumattumallur Village, Chengalpattu Taluk, Chengalpattu District.				
Sample Name	Drinking Water	Sample Quantity	5 Ltr x 1 No		
Sample Description	Drinking Water	Sampling Date	12 Jan 2026		
Reference	Test Request Form Dated 12.01.2026	Sample Received on	13 Jan 2026		
Sample Drawn By	Laboratory	Test Started on	13 Jan 2026		
Sample Location	Technical Office	Test Completed on	19 Jan 2026		
Sample Procedure	SMSLA/EN/SOP/001				

TEST RESULTS

S.NO	Parameter	Test Method	Unit	Results	Requirements as per IS 10500-2012-Amd:4	
					Acceptable Limit	Permissible Limit in the absence of alternative source
Chemical						
1	Silica as SiO ₂	IS 3025 (Part 35) - 2024	mg/L	14	--	--
Clause 4, Table 1 Organoleptic And Physical parameters						
2	Colour	IS 3025 (Part 04) - 2021	Hazen	Less than 0.1	5.0 Max	15.0 Max
3	Odour	IS 3025 (Part 05) - 2018	--	Agreeable	Agreeable	Agreeable
4	pH at 25°C	IS 3025 (Part 11) - 2022	--	6.79	6.5 - 8.5	No Relaxation
5	Total Dissolved Solids @ 180°C	IS 3025 (Part 16) - 2023	mg/L	824	500.0 Max	2000.0 Max
6	Turbidity	IS 3025 (Part 10) -2023	NTU	Less than 0.1	1.0 Max	5.0 Max
Clause 4, Table 2 General Parameters Concerning Substances Undesirable In Excessive Amounts						
7	Calcium as Ca	IS 3025 (Part 40) - 2024	mg/L	63	75.0 Max	200.0 Max
8	Chloride as Cl	IS 3025 (Part 32) - 1988 (Reaffirmed 2019)	mg/L	241	250.0 Max	1000.0 Max
9	Free Residual Chlorine	IS 3025 (Part 26) - 2021	mg/L	BLQ (LOQ:0.1)	0.2 Min	1.0 Min
10	Iron as Fe	IS 3025 (Part 53) - 2024	mg/L	BLQ (LOQ:0.05)	1.0 Max	No Relaxation
11	Magnesium as Mg	IS 3025 (Part 46) - 2023	mg/L	26	30.0 Max	100.0 Max
12	Sulphate as SO ₄	IS 3025 (Part 24) See 1 - 2022	mg/L	91	200.0 Max	400.0 Max
13	Total Alkalinity as CaCO ₃	IS 3025 (Part 23) - 2023	mg/L	245	200.0 Max	600.0 Max
14	Total Hardness as CaCO ₃	IS 3025 (Part 21) - 2009 (Reaffirmed 2019)	mg/L	264	200.0 Max	600.0 Max

M. Sarathkumar
M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: No 396, Puduchetram, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

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SMS LABS SERVICES PRIVATE LIMITED



TEST REPORT

TC-6118

ULR - TC61182600002771F

Report No : ENO260113018-07

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Report Date : 19 Jan 2026

S.NO	Parameter	Test Method	Unit	Results	Requirements as per IS 10500:2012:Amend:4	
					Acceptable Limit	Permissible Limit in the absence of alternative source
Others						
15	Calcium Hardness as CaCO ₃	IS 3025 (Part 40) - 2024	mg/L	158	--	--
16	Carbonate Hardness as CaCO ₃	IS 3025 (Part 21) - 2009 (Reaffirmed 2019)	mg/L	250	--	--
17	Conductivity at 25°C	IS 3025 (Part 14) - 2013 (Reaffirmed 2019)	µS/cm	1494	--	--
18	Magnesium Hardness as CaCO ₃	IS 3025 (Part 46) - 2023	mg/L	106	--	--
19	Non-Carbonate Hardness as CaCO ₃	IS 3025 (Part 21) - 2009 (Reaffirmed 2019)	mg/L	14	--	--
20	Phenolphthalein Alkalinity as CaCO ₃	IS 3025 (Part 23) - 2023	mg/L	BLQ(LOQ:2.0)	--	--
21	Total Suspended Solids (TSS)	IS 3025 (Part 17) - 2022	mg/L	BLQ(LOQ:2.0)	--	--

Note : BLQ: Below Limit of Quantification LOQ: Limit of Quantification, NTU: Nephelometric Turbidity Units
Free Residual Chlorine Limit to be Applicable only for Chlorinated Water.

Remarks : The Drinking Water Sample Conforms to the Requirements of Permissible Limits as per IS 10500:2012 : Amend : 4 for the Parameters tested above.

***** End of the Report *****

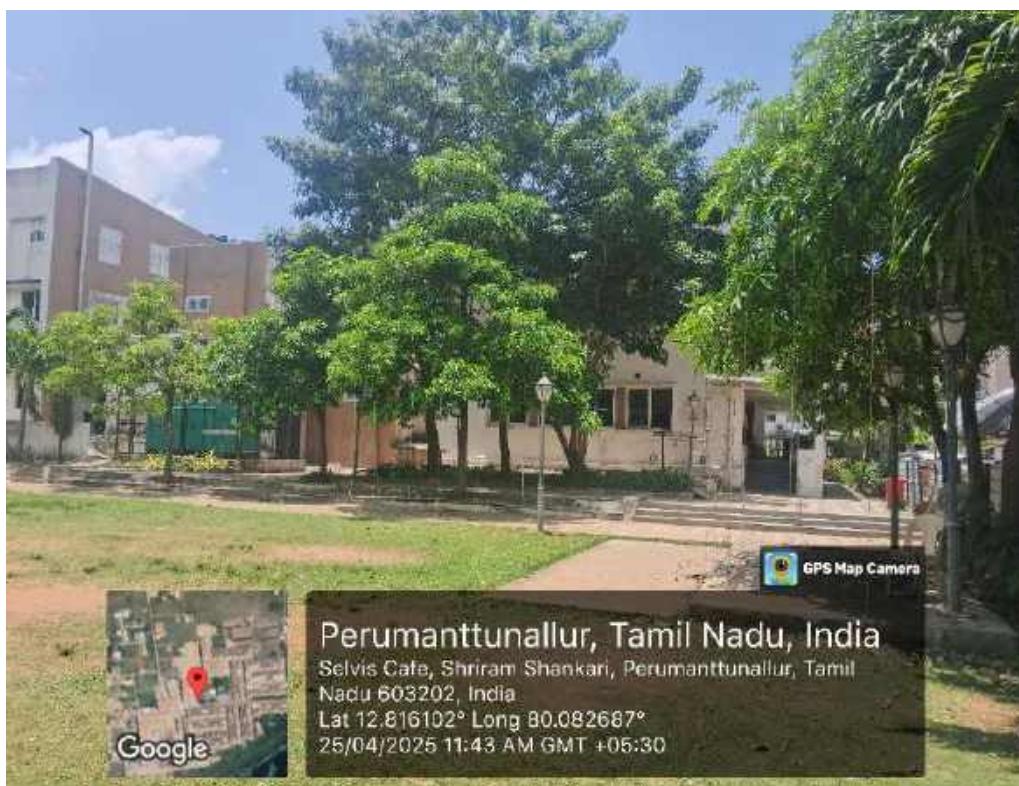
M. Sarathkumar
Authorized Signatory-Chemical

Laboratory Address: No 396, Puduchetram, Thiruvallur High Road, Thirumazhisai Via, Poonamallee TK, Thiruvallur, Chennai, Tamil Nadu, India

Note: Test results relate only to the items tested. Test Report shall not be reproduced in full or part without the approval of SMS Labs. Non-Persistent remnant samples will be disposed 15 days from the date of receipt unless otherwise agreed with the customer except in case of regulatory samples, which will be retained for a specific period as per regulatory requirements; while perishable and environmental remnant samples will be disposed consequently upon completion of testing. Samples are not drawn by laboratory unless or otherwise stated. A satisfactory test report in no way implies that a product so tested is approved by NABL. The Laboratory accepts no liability with regard to the origin or source from which the sample(s) is/are said to be extracted.

Annexure 26
DG Stack Photos

DG Stack Height



Annexure 27
RWH Systems

RAIN WATER HARVESTING SYSTEMS

Storm water Drain



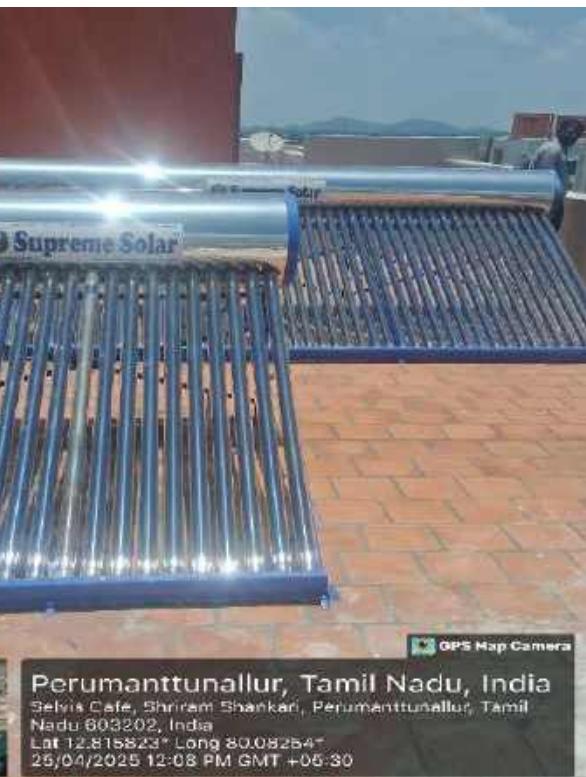
RWH Pits



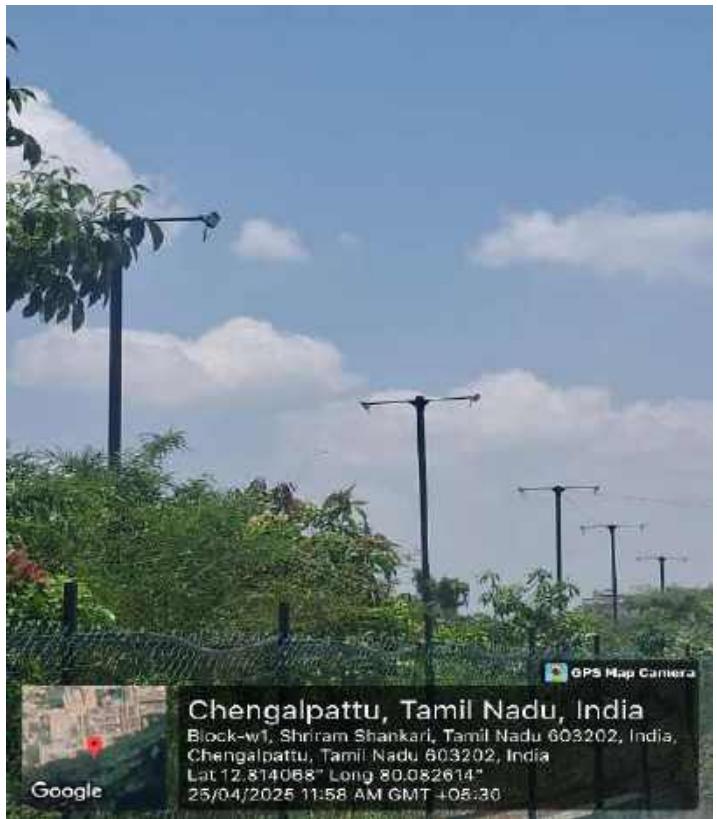
RWH Sump



Annexure 28
Solar Water Heater



Annexure 29
LED Fixtures



Annexure 30

Energy Conservation Report

ENERGY CONSERVATION REPORT

THE PROPOSED BUILDING DESIGN FEATURES AND THE INFLUENCE OF LOCATION:

CLIMATE ZONE:

The energy performance of proposed project is compared with performance achieved using design standards of ECBC. The baseline / benchmarks for the buildings were established after calculating the WWR.

Description	Wall area (sq. m)	Window area (sq. m)	WWR (%)
Proposed buildings	18172.9	2183.51	40%

CONSTRUCTION / ENVELOPE BENCHMARKS

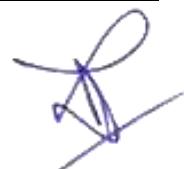
Parameters of Design features	ECBC Parameters - Day time building
Exterior Wall Construction - U Value: W/m2K	0.22 - 0.40
Roof Construction - U Value: - W/m2K	0.20 - 0.33
Roof Finish- Reflectivity	0.70
Fenestration type	Vertical
Fenestration SHGC Coefficient (rated)	0.25 - 0.27
Fenestration U-value: W/m2K	2.20 - 3.00
Overhangs/ Shading	Projection Factor – ≤ 0.25 to ≥ 1.0

PROPOSED – DESIGN PERFORMANCE

The construction technology, envelope parameters, and design specifications for entire buildings are consistent. Their design specifications are compared with the corresponding ECBC standards.

CONSTRUCTION / ENVELOPE DESIGN COMPARATIVE

Parameters of Design features	Proposed Design Details
Exterior Wall Construction U Value: W/m2K	2.695 w/m ² k
Roof Construction- U Value: - W/m2K	2.383 w/m ² k
Roof Finish – Reflectance coefficient (R1)	Pressed clay tile: 0.25
Fenestration type Vertical (G1)	Vertical
Fenestration SHGC (Solar Heat Gain Coefficient) Coefficient (rated) (G1)	0.82
Fenestration U-value: W/m2K	2.2 to 3.00
Fenestration Visible Light Transmission (VLT) Coefficient	Saint Gobain 89% - 90% (0.89 -0.9)
Overhangs/shading	0.5



WALL, ROOF CONSTRUCTION & GLAZING DETAILS.

Wall Assembly Details			
Material	Layer Thickness	Thermal Conductivity, K	Thermal resistance, R
	(ft)	(Btu/h·ft·°F)	(h·ft2·°F/Btu)
Exterior Air Resistance	-	-	0.250
Exterior Cement plaster	0.066	0.4	0.165
AAC Blocks	0.738	0.0925	7.978
EPS Insulation	0.246	0.02	12.3
Interior Gypsum plaster	0.066	0.12	0.55
Interior Air Resistance	-	-	0.68
Total R Value			21.923
Overall U Value (1/R) (btu/ft2-F)			0.046
Total U Value (1/R) (W/m2-K)			0.259

Roof Assembly Details			
Material	Layer Thickness	Thermal Conductivity, K	Thermal resistance, R
	(ft)	(Btu/h·ft·°F)	(h·ft2·°F/Btu)
Exterior Air Resistance	-	-	0.250
Tiles	0.059	0.64	0.093
Cement Screed	0.115	0.81	0.142
Insulation	0.246	0.02	15.209
Bitumen	0.039	0.12	0.341
Cement Screed	0.115	0.81	0.142
Concrete	0.492	1.33	0.370
Interior Air Resistance	-	-	0.680
Total R Value			17.227
Overall U Value (1/R) (btu/ft2-F)			0.058
Total U Value (1/R) (W/m2-K)			0.330

Glazing Specification – G1				
Glazing	Type	SHGC	‘U’ Value	VLT
SKN 144	Double	0.23	1.6	0.39

REDUCTION IN LIGHTING LOAD – LIGHTING POWER DENSITY.

Space Description	Base Case Wattage (W/m2)	Proposed Case Wattage (W/m2)
Residential Buildings	10.0	10.0
Commercial Building	10.0	10.0
Club House	7.0	5.0

The project consumes 9.33 % less energy annual when compared with energy estimated using base case.

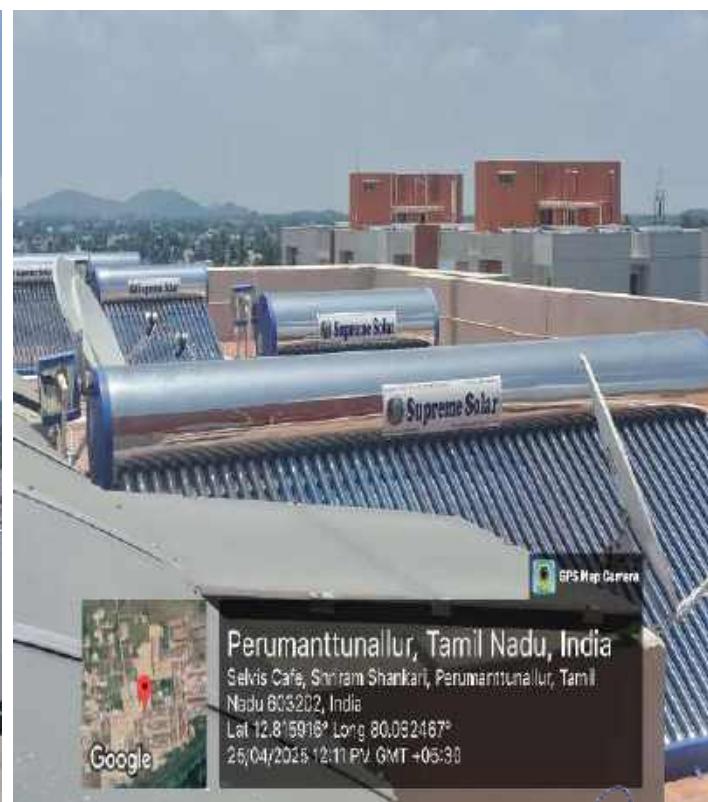
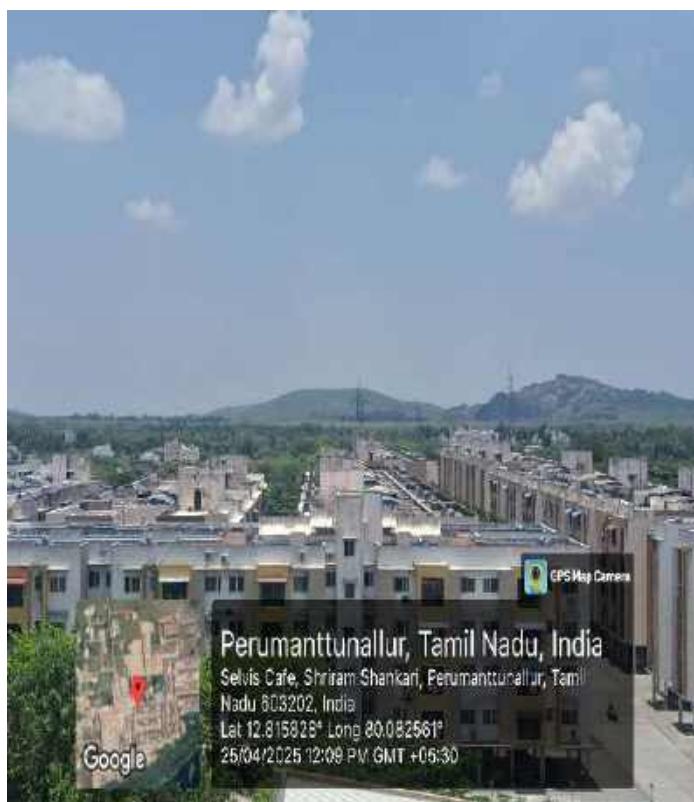
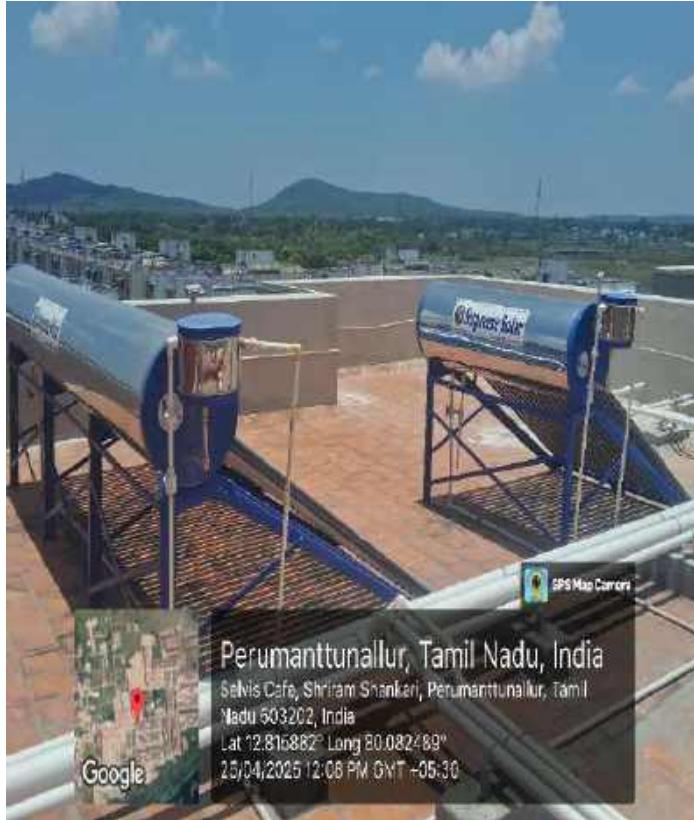


ENERGY CONSERVATION DETAILS:

S. No	Description	Connected load in kW	Diversity factor	Maximum demand in kW	Energy Conservation methods	Demand in KW after implementing energy conservation
A	Internal Works					
1	Lighting load (Light fittings, fans, exhaust fans)	1851.68	0.80	1481.34	LED Lights	888.81
2	Power point load (5A, 15A, 20A plug points)	13876.52	0.40	5550.61	-	5550.61
5	Passenger Lift load (1no. - 8 Kw) – 54 Lifts	432.00	0.80	345.60	Star Rated Motors	311.04
	Subtotal A (in Kw)	16160.20		7377.55	-	6750.46
B	External works					
1	Water supply pumps	59.00	0.6	35.40	Star Rated Pumps	31.86
2	STP	120	0.6	72	Star Rated Pumps	14.4
3	OWC	10	0.8	8	Star Rated Motors	1.6
4	External street lighting	4900	0.1	490	LED Lights	441
5	Fire fighting	365	0.6	219	Star Rated Pumps	197.1
	Subtotal B (in Kw)	5454.00		824.40		685.96
	Net grand total A-B (in Kw)	21614.20		8201.95		7436.42
LOAD SUMMARY						
	Total Connected Load in kW			21614.20		
	Total maximum demand in kW			8201.95		7436.42
	Working power factor @ 0.85			0.85		0.85
	Total demand in KVA			9649.36		8748.73
	Solar Energy – Solar water heater					33160
	Total Energy Conserved – 9.33 %					



**SOLAR ENERGY UTILIZATION – SOLAR WATER HEATER INSTALLED ON
THE ROOF AREA**



Annexure 31
Entry & Exit and Parking Photos

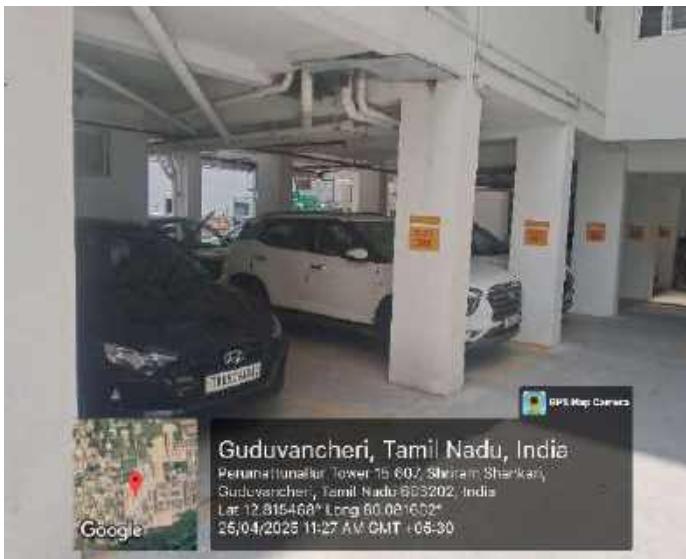
ENTRY/EXIT - 1



ENTRY/EXIT - 2



STILT PARKING



SURFACE PARKING



Annexure 32

**SSPL Brochure mentioning EC Link on
website**

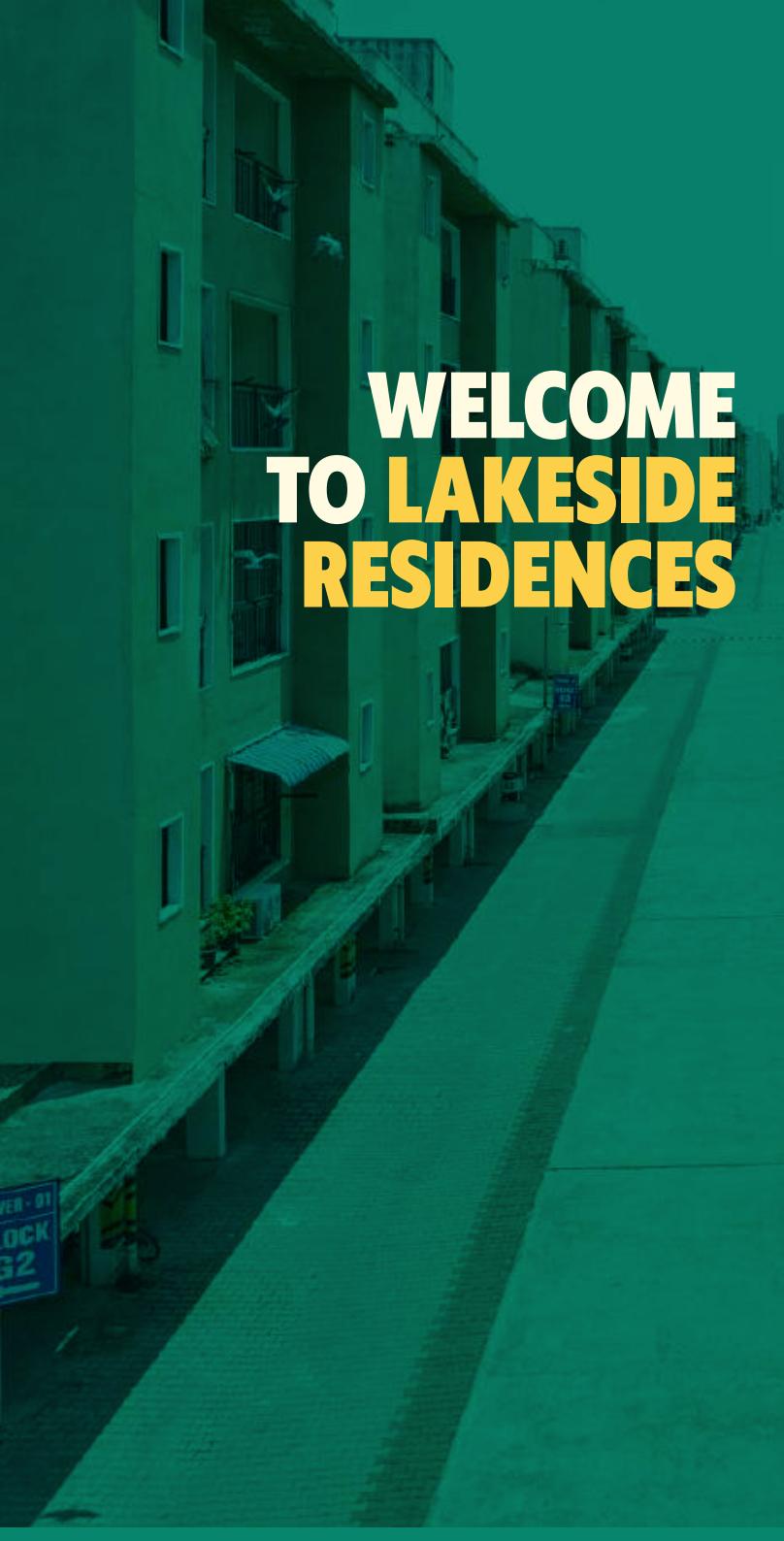


LAKESIDE
RESIDENCES
@SHIRAM SHANKARI

Shriram
Properties
Homes that live in you

**YOUR LIFE IS
READY HERE AT
LAKESIDE
RESIDENCES**





WELCOME TO LAKESIDE RESIDENCES

Welcome to Lakeside Residences, a classy gated community with lake-facing homes offering a picture-perfect lifestyle. Nestled in the residential heart of Guduvanchery, this place offers tranquillity amid a bustling community of 1000+ families. And that's exactly what we are talking about, living a life that's already ready!



Super Spacious
2 BHK Apartments



Vaastu-compliant
Homes



Functional Clinic
inside the Premises



Secure 36-acre
Township



50+ State-of-the-art
Amenities



2 Ready-to-use
Clubhouses



70% Open
Space



Vibrant
Community Living

LEGEND

- Hospitals
- Factories
- Schools / Universities
- Tech Park
- Railway Station
- Bus Terminal
- Hotels



MASTER PLAN

LEGEND

- 1. ENTRANCE GATE 2
- 2. CLUBHOUSE
- 3. YOGA PAVILION
- 4. JOGGING TRACK
- 5. TEMPLE
- 6. MAZE GARDEN
- 7. BUTTERFLY GARDEN
- 8. READING PLAZA
- 9. OUTDOOR GYM
- 10. KIDS' PLAY AREA
- 11. MULTI-PURPOSE COURT
- 12. JOGGING TRACK
- 13. BADMINTON COURTS
- 14. FAMILY LAWN
- 15. PARTY LAWN
- 16. SENIOR CITIZEN PARK
- 17. YOGA PAVILION
- 18. KIDS' PLAY AREA
- 19. TODDLERS' PARK
- 20. BASKETBALL COURT
- 21. TENNIS COURT
- 22. CRICKET PRACTICE
- 23. CLUBHOUSE 2
- 24. BARBECUE AREA
- 25. FUNCTION AREA
- 26. SWIMMING POOL
- 27. SKATING RINK
- 28. TODDLERS' PLAY AREA
- 29. CYCLE DOCKING STATION
- 30. ENTRANCE GATE 1
- 31. RETAIL CENTER



LIVE A LIFE THAT'S NEVER BORING!

Discover nature at its best

Aroma garden | Zodiac garden | Butterfly garden
Lily pond garden | Function lawns

Fabulous spaces for family time

Outdoor party area | Multi-purpose hall | Cafe |
2 ready-to-use Clubhouse | Picnic points

Fitness zones fit for a king

Gym | Swimming pool | Jogging tracks | Skating rink | Basketball court
Cricket practice nets | Badminton courts | Table tennis | Billiards

A safe and fun haven for your kids

Sand pit | Kids' play area | Toddlers' play area
Giant board games | Multiple play areas

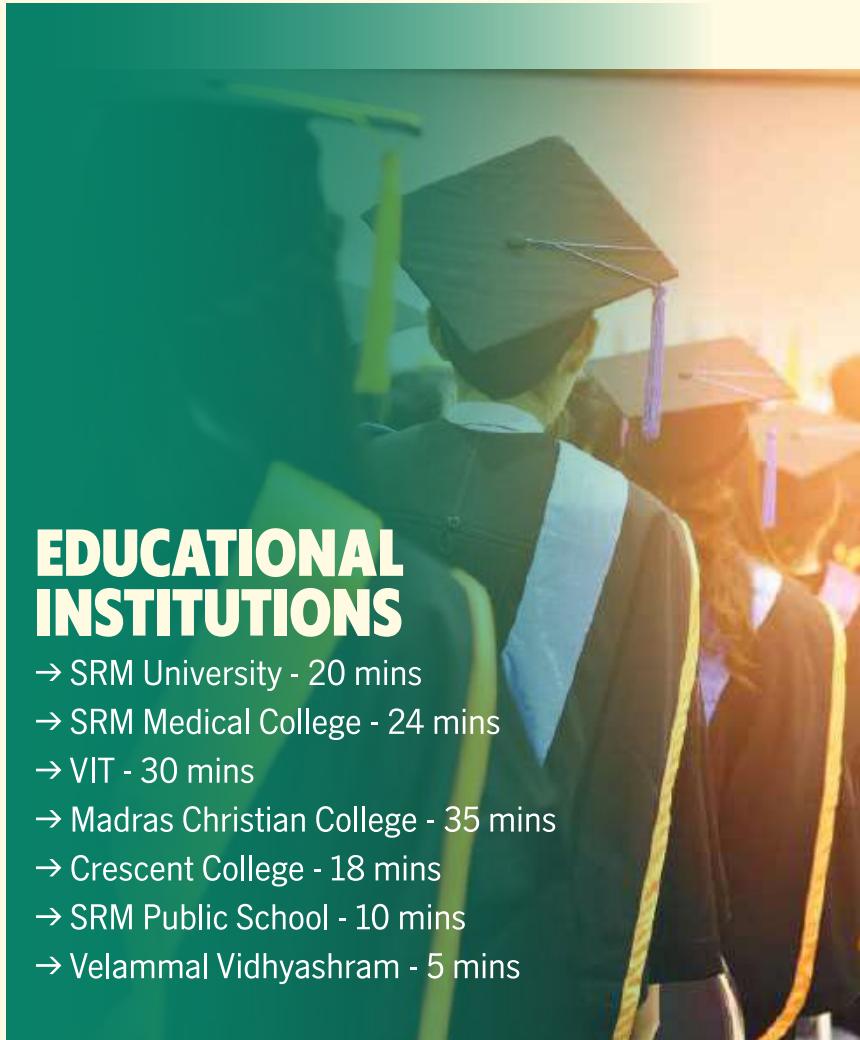
Conveniences to pamper yourself

Salon | Crèche | Grocery store | ATM | Shuttle bus | Clinic



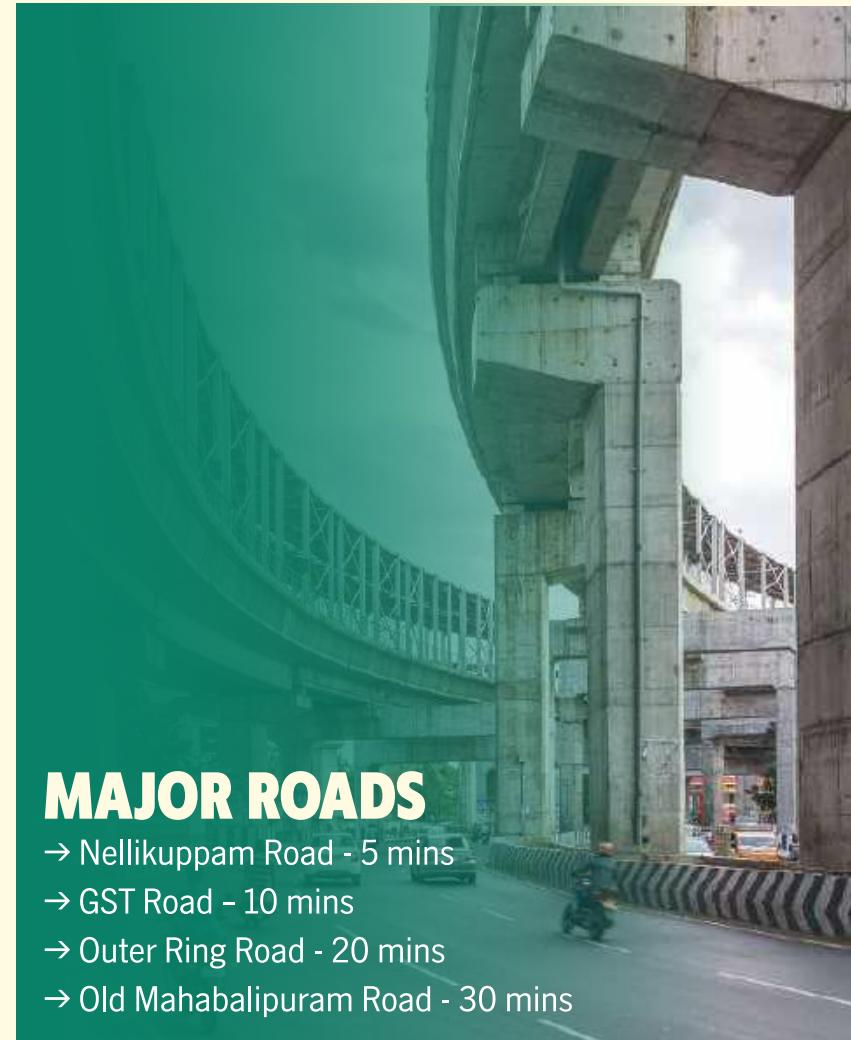
EVERYTHING DEAR SO VERY NEAR

Imagine a home that's near the best schools, hospitals, offices and stores, yet cradled in serenity. That's exactly where you'll be.



EDUCATIONAL INSTITUTIONS

- SRM University - 20 mins
- SRM Medical College - 24 mins
- VIT - 30 mins
- Madras Christian College - 35 mins
- Crescent College - 18 mins
- SRM Public School - 10 mins
- Velammal Vidhyashram - 5 mins



MAJOR ROADS

- Nellikuppam Road - 5 mins
- GST Road - 10 mins
- Outer Ring Road - 20 mins
- Old Mahabalipuram Road - 30 mins

OFFICE SPACES

- Estancia IT Park - 20 mins
- The Gateway - 25 mins
- MEPZ - 40 mins
- Mahindra World City - 40 mins
- Oragadam Industrial Area - 40 mins



PUBLIC TRANSPORT

- Kilambakkam Bus Stand - 20 mins
- Metro Rail - 20 mins
- Guduvanchery Railway Station - 15 mins
- Chennai International Airport - 40 mins



HOSPITALS

- Deepam Hospital - 15 mins
- SRM Hospital - 25 mins
- Hindu Mission Hospital - 30 mins
- OneHealth Super Speciality Hospital - 20 mins



FOOD JOINTS

- Dominos
- Anjappar
- Marry Brown



TYPICAL 2 BHK 1035 SQ.FT.



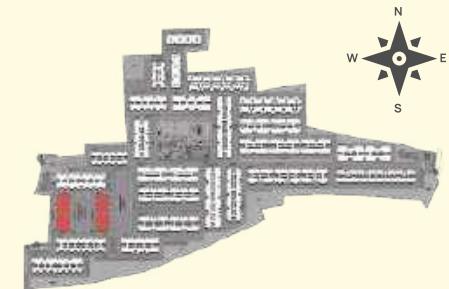
- Well-ventilated apartment
- Efficient floor plan with no wasted space
- Foyer area for your privacy
- Large kitchen with sufficient storage space
- Full-length windows in master bedroom for excellent lighting & ventilation

TYPICAL 2 BHK 1060 SQ.FT.



- Well-ventilated apartment
- Efficient floor plan with no wasted space
- Foyer area for your privacy
- Large kitchen with sufficient storage space
- Full-length windows in master bedroom for excellent lighting & ventilation

TOWER PLAN 23



▼
F-104-704

TYPICAL 2 BHK 1100 SQ.FT.



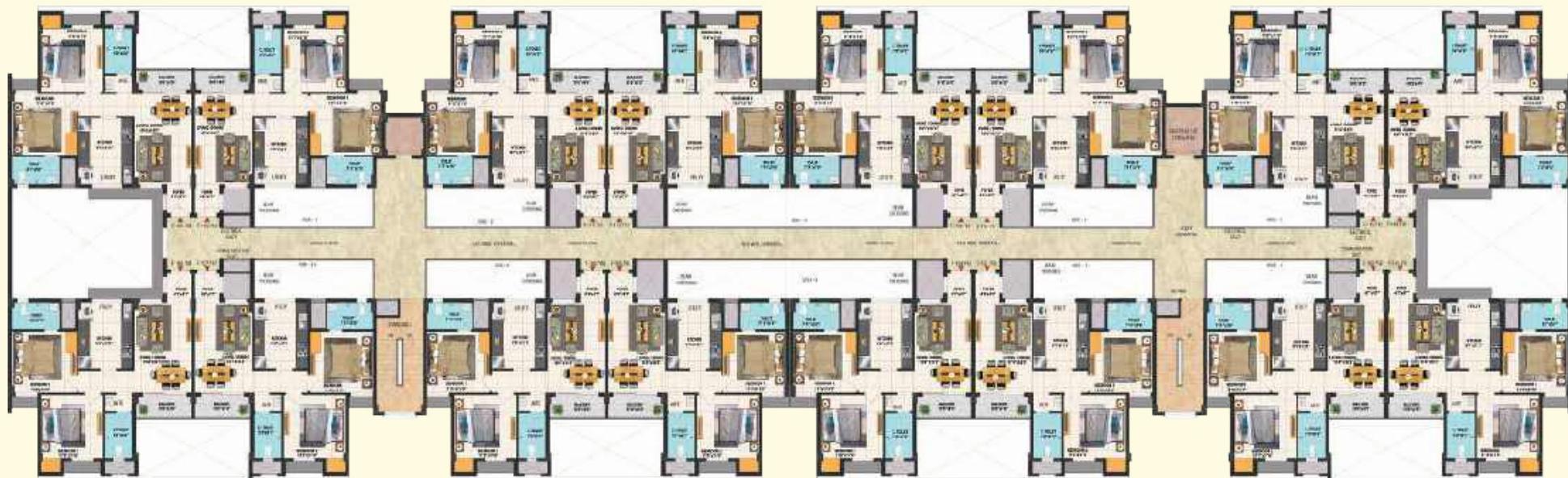
- Well-ventilated apartment
- Efficient floor plan with no wasted space
- Foyer area for your privacy
- Large kitchen with sufficient storage space
- Full-length windows in master bedroom for excellent lighting & ventilation

TYPICAL 2 BHK 1080 SQ.FT.



- Well-ventilated apartment
- Efficient floor plan with no wasted space
- Foyer area for your privacy
- Large kitchen with sufficient storage space
- Full-length windows in master bedroom for excellent lighting & ventilation

TOWER PLAN 26



SPECIFICATION

FLOORING

Living, dining, bedroom and kitchen: 600 x 600 mm vitrified tiles

Balcony, utility: 300 x 300 anti-skid ceramic tiles

Toilets: 300 x 300 anti-skid ceramic tiles

Lift lobby, corridors: 600 x 600 mm vitrified tiles and staircases with matte finish

Anti-skid ceramic tiles

Lift cladding: Combination of textured paint and granite (texture on entire front face of the lift and granite on side walls only)

KITCHEN

Polished 30 mm granite counter with wall support

Provision for water heater with electricity and water points

Provision for water filter with water point

Provision for exhaust fan in utility

Provision for washing machine in utility with water and electricity

Points (2 BHK / 3 BHK)

DADO

Utility: Glazed ceramic tiles up to sill level

Toilets: Glazed ceramic tiles up to about 7 feet

Kitchen dado: Glazed tiles up to 2 feet above counter level

JOINERIES

Main door: Teak wood frame with teak veneer shutter on both sides, including polished locking arrangements

Internal doors: Engineered wooden laminated doors including locking arrangements

Toilet doors: Engineered wooden laminated doors including locking arrangements

Windows: French windows – UPVC sliding windows

Ventilators: UPVC with louvers

Balconies: M.S. Railings

PAINTING

Interior walls and ceiling: OBD

Exterior walls: Exterior emulsion paint

Stilts: Cement paint

Wood, iron surfaces: Enamel paint

Main door: Polished

ELECTRICAL

Switches: Modular switches of ISI mark

Wires: Concealed copper wiring of ISI mark

Geyser point

Solar water points in common toilets

TV points in master bedroom and living area

Telephone and internet point in living area

AC points in master bedroom and living area

SANITARY & CP FITTINGS

EWC: Floor mounted white Hindware / Jaquar/ Cera / Parryware / Equivalent

Wash basin: Wall hung – white Hindware / Jaquar/ Cera / Parryware / Equivalent

Stainless steel sink with drain board in kitchens (36" X 18")

CP fittings: Jaquar Continental / Parryware / Equivalent

GENERAL

DG backup: 120/260/360 Watts for 1, 2 & 3 BHK

Water supply system: Through underground sump & overhead water tank of sufficient capacity



BRAND NEW IDENTITY. SAME OLD TRUST.

46
COMPLETED
PROJECTS

28000+
HAPPY FAMILIES

DELIVERED
25 M. SFT
OF SALEABLE AREA

PRESENCE IN
6
CITIES





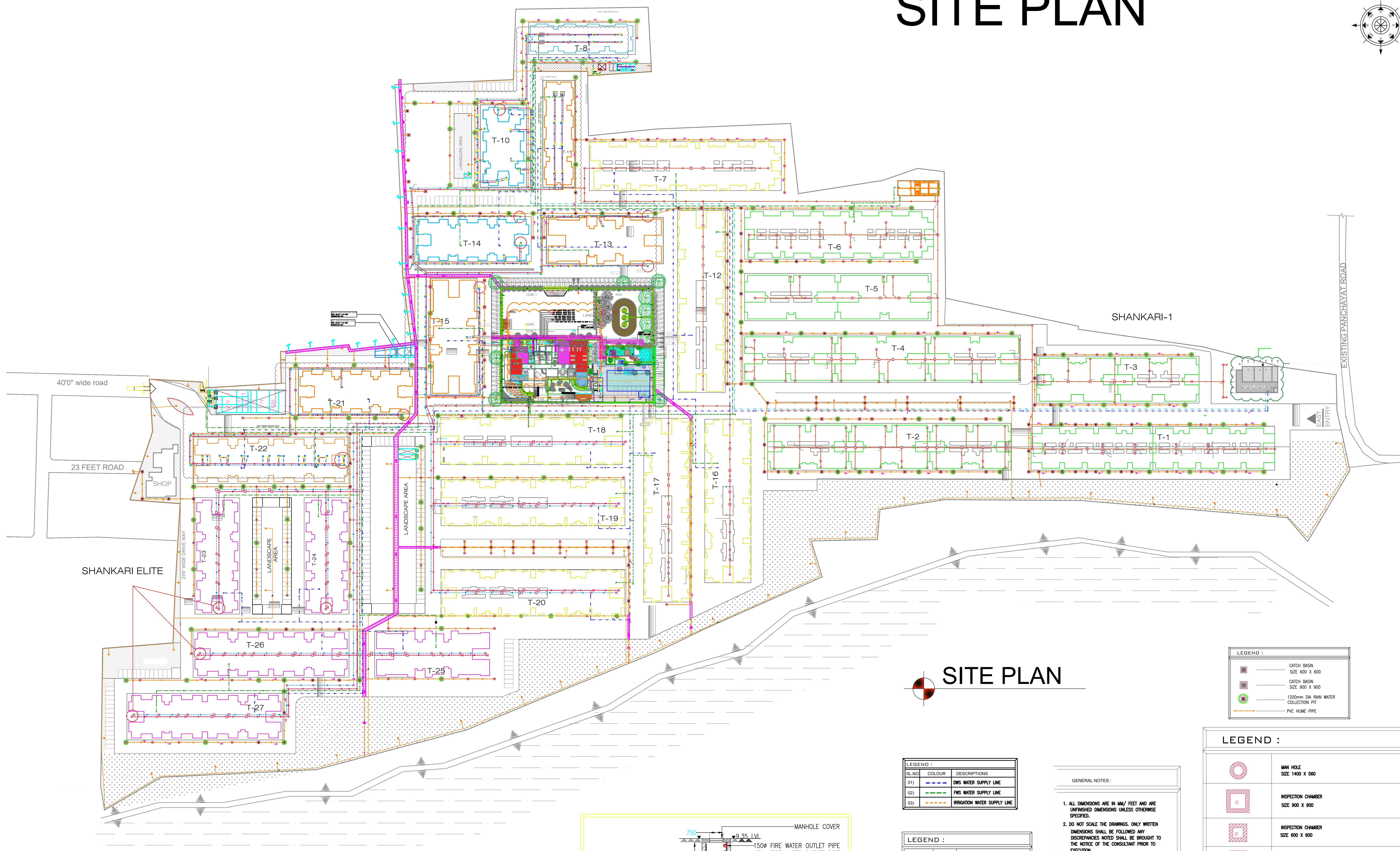
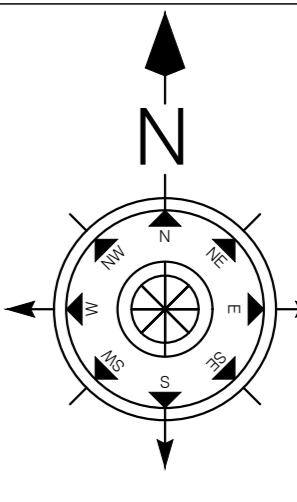
LAKESIDE RESIDENCES

@SHRIRAM SHANKARI

Annexure 33

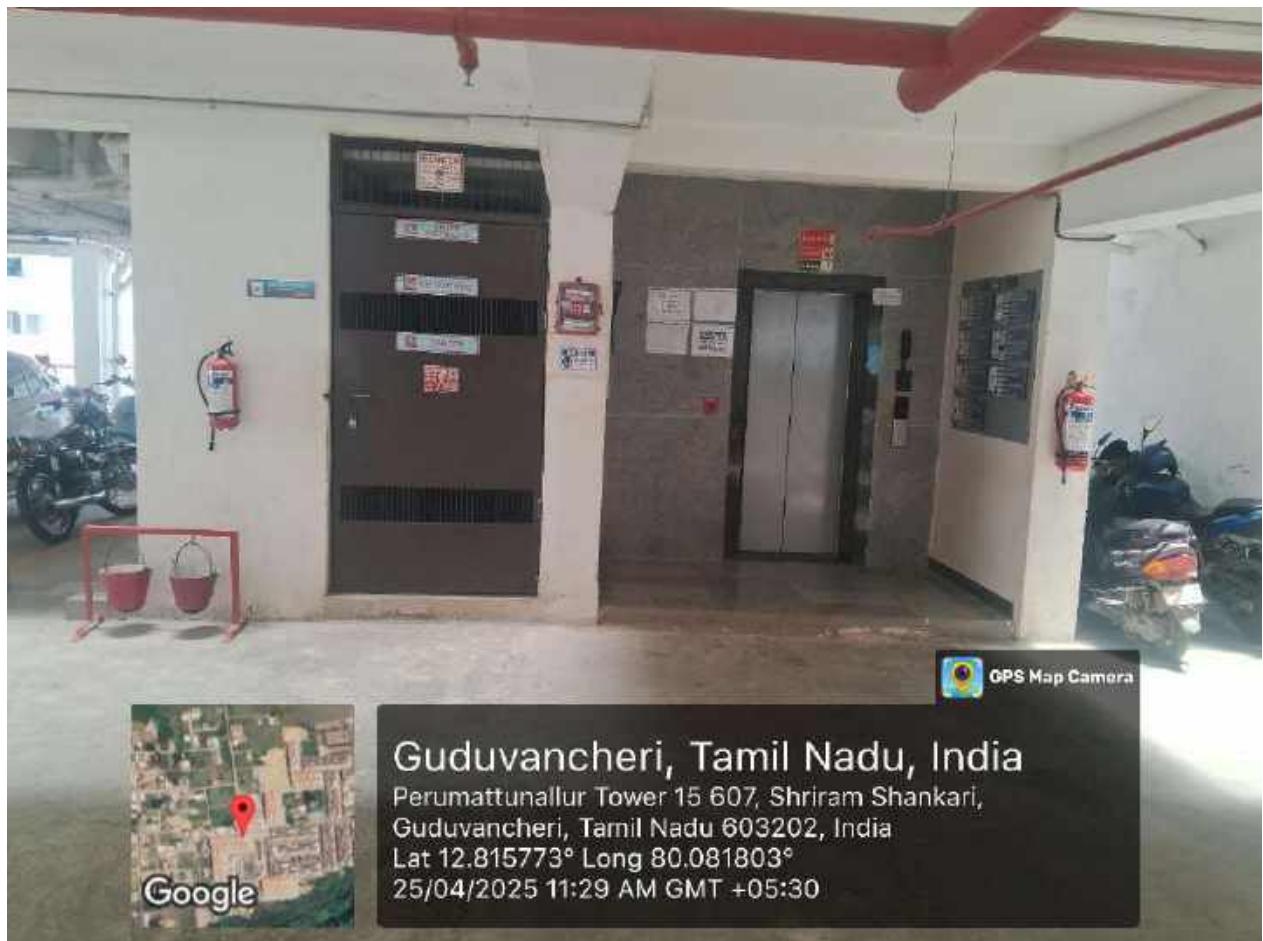
Pipeline Layout (Domestic, Fire, Irrigation)

SITE PLAN



WORKING DRAWING			
NO	DATE	REVISION	BY
21.03.19 M/S SHIRRAM PROPERTIES FOR G.F.C. - 29.12.18 M/S SHIRRAM PROPERTIES FOR APPROVAL 01 07.06.18 M/S SHIRRAM PROPERTIES FOR APPROVAL 01 22.03.15 M/S SHIRRAM PROPERTIES FOR APPROVAL 01 15.08.15 M/S SHIRRAM PROPERTIES FOR APPROVAL 01 03.05.15 M/S SHIRRAM PROPERTIES FOR APPROVAL			
NO	DATE	PRINTS ISSUED TO	
BY			
M/S SHIRRAM PROPERTIES LAKSHMI NEELA RITE CHOICE CHAMBER, 1ST FLOOR, NEW NO.9, BAZULLAH ROAD, TANJAR, CHENNAI - 600 017			
SPANU SPANU PTA PTA HARI HARI HARI HARI			
CLIENT: M/S SHIRRAM PROPERTIES LAKSHMI NEELA RITE CHOICE CHAMBER, 1ST FLOOR, NEW NO.9, BAZULLAH ROAD, TANJAR, CHENNAI - 600 017			
ARCHITECTS AND PLANNERS: SANKAR AND ASSOCIATES 27 SENGUDIYA STREET, RANNACAR, COMBATORE - 641 009			
P.H.E. CONSULTANTS : PRISM CONSULTANCY NO. 135/2, 11th CROSS, MALLESHWARAM, BANGALORE - 560 003 TEL - 23449432 / 23560141 E-mail ID: primbangot@gmail.com E-mail ID: jogen@prismconsultancy.net			
FOR SANCTION PURPOSE PROJECT : PROPOSED APARTMENT COMPLEX FOR M/S. SHIRRAM PROPERTIES LTD., AT PERUMATTALLUR CHENNAI. DRG. TITLE : SITE PLAN SHOWING EXTERNAL CO-ORDINATION LAYOUT			
SCALE	1:600(AC)	JOB NO.	142/DB
DEALT	SPANDA	DRG. NO.	REV
DESIGN	BALU		00
CHECKED	PARU		
CHECKED	PARU		
DATE	29.12.18		

Annexure 34
First Aid Kits Photos

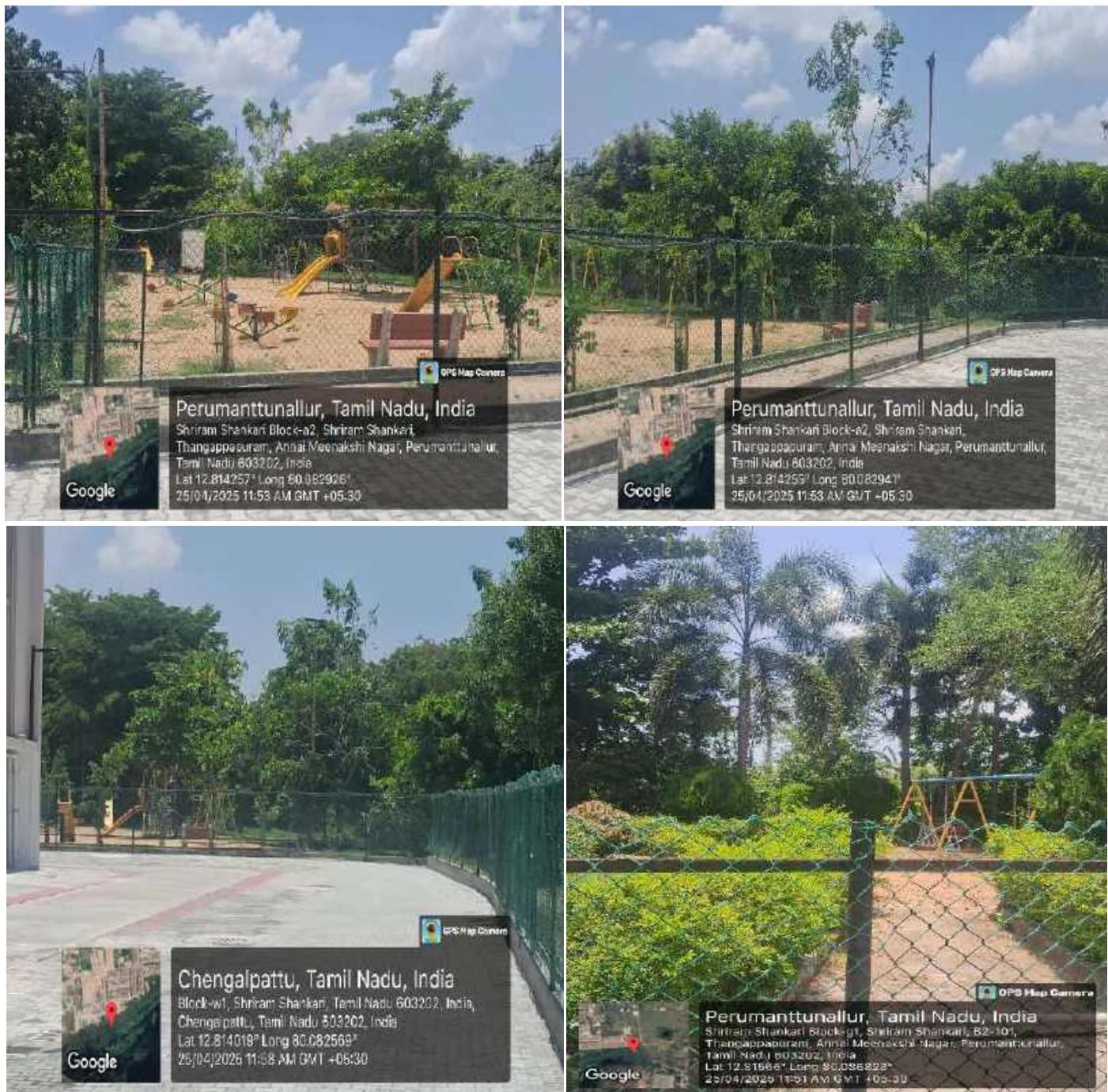


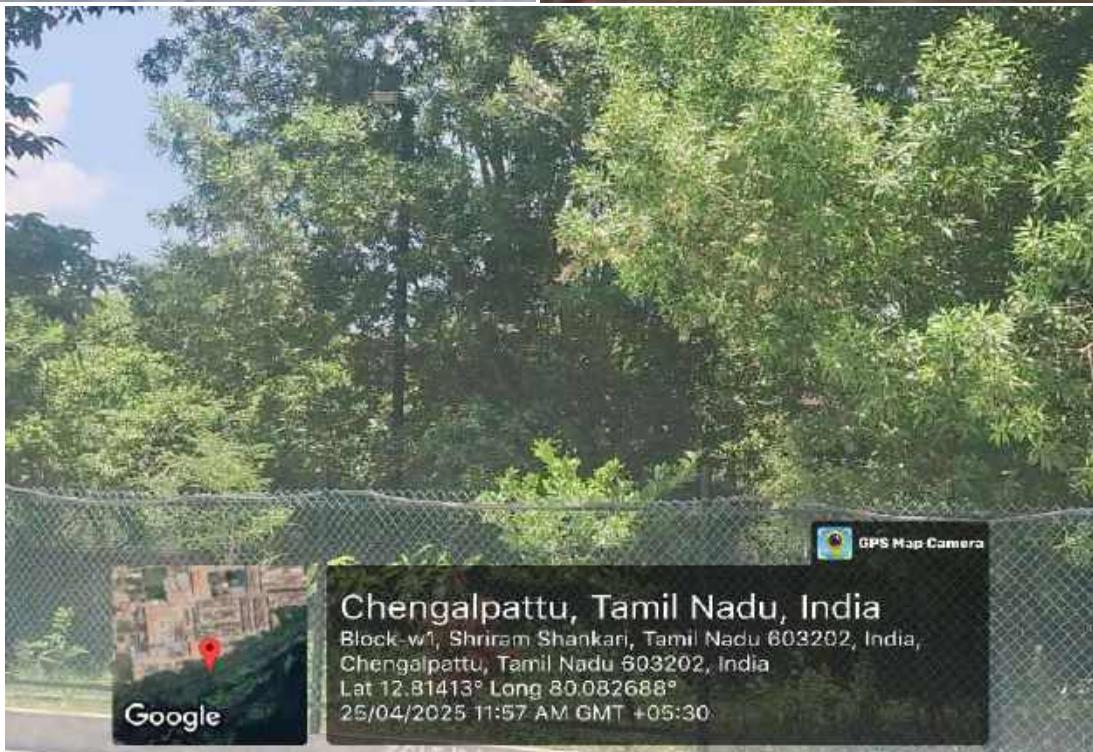
Annexure 35

CSR Activities

CSR Activities spent for developing OSR area and its expenses details

300030	Lalitha Metal Fabricator	OSR BOUNDARY - FENCING WORK	18,99,525.00
300023	APEX TOPOMAPPERS PRIVATE	OSR Area Marking using Total Station	7,500.00
300023	APEX TOPOMAPPERS PRIVATE	Survey Work for Finding OSR Boundary	45,000.00
300023	APEX TOPOMAPPERS PRIVATE	OSR Area Marking using Total Station	7,500.00
Fenit Enterprises		Supply of OSR Lights	4,82,036.00
Anushakala Architecture and Sculpture		Temple Works	19,88,196.00
ArtyPlantz Nature		Garden	9,33,459.00
MFAR		Tiles	3,00,000.00
		Temple	3,40,000.00
		Main Building	23,85,329.00
		Play Area Tiles	9,27,731.00
SLS		Brick Supply	1,17,800.00
		Total	94,34,076.00





SHRIPROP STRUCTURES PVT LTD
 No.09 Lakshmi Neela Rite Choice Chamber
 Bazullah Road, T.Nagar
 Chennai - 600017
 Phone : 080-4022-9999
 E-mail : info@shriramproperties.com
 GSTIN : 33AALCS5700M1Z6
 PAN : AALCS5700M

WORK ORDER



WO No : SPSPL/CHN/Shankari/2021-2022/4300002756

Approval Date : 23.03.2022

VENDOR DETAILS		PLACE OF WORK			
Lalitha Metal Fabricators No.32, Sidco Industrial Estate,Gummidipoondi Chennai-601201 Ph No : E-Mail : GSTIN : 33AAEFL9485G1Z1 PAN : AAEFL9485G		Delivery Address/ Project Name Lakeside Residences at Shriram Shankari Shriram Shankari, Thangappapuram Perumattunallur Guduvancheri #Chengalpattu-603202			

Please complete the under mentioned works in accordance with the terms and condition given below and overleaf

S.NO	Description	UOM	Quantity	Rate	Amount
1	OSR BOUNDARY - FENCING WORK				
1.1	PVC Chainlink Fencing Supply, Fabrication and Erection of PVC coated Chain link Fencing of 1.5m height with 50mmx50mm box open in mesh of 3mm thk PVC coated GI wire, verticals post 2.4m c/c interval of 50 x 50 x 6mm angle and horizontal member 35x35x3mm thk angle 2nos at top and bottom of fencing throughout the periphery including open able gate 8 nos 1 x1.5 m with hinges Al-drop and lock etc to complete. incl. of one coat of zinc chromite primer and two coats of enamel paint on M.S Structure. The quoted rate shall include excavation of 300x300x600mm pit at all kind of soil and placing of 50mm vertical angle 600mm embedded in concrete with M20 grade concrete etc to complete, with all lead, lift, consumables, machinery etc. (Note: Contractor should provide shop drawing for Approval before commencement of work)	M2	1,425.000	1,333.00	18,99,525.00

Sub Total

18,99,525.00

Amount In Words (exclusive of GST) : INDIAN RUPEES EIGHTEEN LAKH NINETY NINE THOUSAND FIVE HUNDRED TWENTY FIVE RUPEES ONLY.

Other Details		Percentage	Amount
1.	Mobilization Advance	0.00 %	0.00
2.	Retention	5.00 %	94,976.25
3.	Defect Liability Period	12 Months from	

The above mentioned retention amount shall be deducted from the running bills and the same will be released after the above mentioned defect liability period from the date of handing over to project team or from the date of handing over to the customers whichever is later.

Basic rates of materials (excluding GST & including delivery at site)

Terms & Conditions

1. The quantities given are tentative and will vary, depends on actual. The payments shall be made based on the running bill and certification.
2. The Contractor will be responsible for any defects arriving due to poor quality of Work executed which are attributed on his part & shall replace/repair the said defect at his own cost throughout the project duration upto handingover to the customers.
3. The above rates are inclusive of Labor PF, ESI, Conveyance & Bonus.
4. The rates above are excluding GST as applicable.
5. All materials & consumables are under Contractor scope.
6. The above rates are inclusive of all leads & lifts.
7. Payments shall be made based on the actual measurements at site.
8. Safety compliance have to be strictly adhered to without any relaxations.
9. Recovery will be done for any materials supplied by Shriram & Escalation or De-escalation will be effected in the bill for the difference between basic rate in WO & basic rate of supply.

Special Terms and Conditions if any:

Kind Attn: Mr. M.M.Kannan, Managing Partner.

Sub: Issue of Work Order to "Supply and Installation of Chain Link Fencing" at Shriram Shankari # Lakeside Residences, Perumattunallur Village, Guduvancherry, Chennai.

Ref: Our Email Confirmation Dated 13th March 2022.

Dear Sir,

With Reference to the above subject, we are awarding the Work Order for "Supply and Installation of Chain Link Fencing" at Shriram Shankari # Lakeside Residences, Perumattunallur Village, Guduvancherry, Chennai.

Contract Value:

The Contract Value shall be Rs. 18, 99, 525/- (Rupees Eighteen Lakh(s) Ninety Nine Thousand Five Hundred Twenty Five Only) exclusive of GST as per Annexed BOQ. Any new taxes imposed by the government, statutory bodies, etc., shall be paid accordingly.

Project Brief:

1. Scope & Brief Description:

"Supply and Installation of Chain Link Fencing" at Shriram Shankari # Lakeside Residences, Perumattunallur Village, Guduvancherry, Chennai.

2. Employer / Owner / Client and Address:

SHRIPROP STRUCTURES PRIVATE LIMITED (SSPL)
9, First Floor, Bazullah Road, T. Nagar, Chennai # 600017
PAN: AALCS5700MGSTIN:33AALC5700M1Z6

3. Site Address & Contact details:

"Shriram Shankari - Lakeside Residences" Perumattunallur Village, Guduvancherry Chengalpattu Taluk at Chennai, Tamil Nadu.

4. Contractor Address:

M/s. LALITHA METAL FABRICATORS,
No: 106, 3rd Main Road,
Thirupathinagar,
Kolathur, Chennai # 600099.

Contact : 9840625885
Email : lalithametal@rediffmail.com

5. Time for Completion:

As per site requirements.

6. Insurance of Works:

The Contractor shall be responsible for insurance of their men and all such other insurances as applicable by law.

7. Terms of Payment:

Payment shall be processed based on RA Bills with all relevant documents as certified by Site Incharge.

8. Time within which payment to be made by SSPL.

Within 15 working days after issue of certificate of payment by the Site Head to the Employer.

9. Retention Amount from Interim bills:

5% of Certified Bill value in all RA Bills shall be deducted as retention amount.

The retention amount shall be released after the completion of DLP works as certified by SSPL.

10. Defects Liability Period:

12 Months from the date of Handing Over as Certified by SSPL.

11. Taxes:

The "Accepted rate" by the CONTRACTOR is excluding GST and shall be paid as extra.

Escalation:

The quoted Amount derived from the agreed Offer is final and no escalation what so ever and under any circumstances shall be.

Power and Water:

CONTRACTOR shall make own arrangements for Power ,Water at his Own Cost and distribution arranged for construction & other facilities and for meeting the safety regulations for electrical works as per statutory requirements.

Time for Commencement and Completion of Works

The Date of Commencement shall be 1 days from the date issue of Work Order. All the works shall be completed as per the site requirements

Quality Control:

You shall establish effective Quality Control System and implement the same through an independent team consisting of qualified and experienced engineers and technical personnel to enforce quality control on all items of works at all stages.

Safety Rules and Regulations:

The Contractor will abide by all safety rules, standards, specifications and practices in construction and also the instruction of our Safety Engineer at site. You are responsible for safety of your staff & employees, Employees of other agencies working in your area of operation.

You shall delegate the responsibility of implementation of safety rules to one of your staff.

Housekeeping

Maintaining site premises in neat & clean manner is the prime responsibility of the workers and the actual cost plus overhead charges will be debited from your claims.

Indemnity:

The Contractor shall indemnify and keep indemnified us from and against any and all loss, damage, expense (including legal costs on a full indemnity basis), or liability (whether criminal or civil) and costs of settlement suffered or incurred by us, due to any neglect or default by you, your agents, employees, partners, directors or representatives of yours or due to any breach of undertaking, loss, regulation and other statutory requirements in force in the territory or any other reason so long as such loss, expense, damage, fees or costs resulted from the acts, operations or negligence of yours.

Compliance of Labour Regulations:

The Contractor shall observe and comply with all laws applicable to Contract Labour Act, Interstate Migrant Workers Act and to workmen employed by them or any sub-Contractor employed on the Works. In the event of any default by way of non-observance or non-compliance of the said laws / rules on your part or the sub-Contractor, you shall indemnify the Employer against any liabilities, actions and costs / expenses arising out of or in connection therewith.

The Contractor shall ensure compliance with all statutes, laws, rules, and regulations of the Central or State Government or any other authority such as the Workman's Compensation Act 1923, Payment of Wages Act, Minimum Wages Act 1948, Employees State Insurance Act, Employees Provident Fund Act, etc. and any statutory modifications thereof in connection with employees engaged by you or your sub-Contractor in the work.

Accident or injury to Workmen and Reporting:

M/s. SSPL shall not be liable for or in respect of any damages or compensation payable at law in respect or in consequence of any accident or injury to any workmen or other person in the employment of the Contractor/Vendor or his Sub Contractor. The Contractor/Vendor shall indemnify and keep indemnified M/s. SSPL against all such damages and compensation and against all claims, demands, proceedings, costs, charges and expenses whatsoever in respect thereof or in relation thereto.

The Contractor/Vendor shall be responsible for the safety of all employees and / or workers employed or engaged by him on and in connection with the works and shall report within twenty four (24) hours all cases of accidents to any of them, however caused and whenever occurring, to the Project Manager and shall make every arrangement to render all possible assistance and aid to the victims of the accident.

Termination of Order:

This Order may be terminated by either party upon Thirty (30) days# notice in writing in the event the other party should fail substantially to comply with the terms of the Order. In the event the Contractor/Vendor not abiding by his obligations under this deed, M/s. SSPL shall terminate his service without assigning any reason.

M/s. SSPL has the right to terminate the Order if the Contractor/Vendor fails to fulfil their obligations or violates any of the terms and conditions of the Order.

Arbitration Clause

1. Disputes of a nature immediately affecting the quality, safety, progress rate or cost/price of any critical item of the work in progress, shall be immediately referred to Conciliation. Any such dispute shall not be a reason for stopping the work and the SSPL shall not stop the work, unless specifically so instructed in writing by SSPL. All matters shall be subject to the right of conciliation, and if conciliation fails, to arbitration as per provisions of the Indian Arbitration and Conciliation Act 1996 to be conducted at Chennai.

2. It is mutually agreed between SSPL and the contractor that the sole arbitrator acceptable to both parties will hear and guide the parties to resolve the dispute at the earliest and the decision of the arbitrator will be final and binding on both the parties. All other disputes shall be subject to jurisdiction of competent courts in Chennai.

Correspondence:

SHRIPROP STRUCTURES PVT LTD
No.09 Lakshmi Neela Rite Choice Chamber
Bazullah Road, T.Nagar
Chennai - 600017
Phone : 080-4022-9999
E-mail : info@shriramproperties.com
GSTIN : 33AALCS5700M1Z6
PAN : AALCS5700M

WORK ORDER



For Work and progress related enquiries shall be addressed to

Mr. P. Sivakumar, (AGM # Technical)
M/s. Shriprop Structures Pvt. Ltd
"Shriram Shankari - Lakeside Residences"
Perumattunallur Village,
Guduvancherry, Chengalpattu Taluk,
Chennai, Tamil Nadu.

All Bills and Invoice with respect to this job shall be addressed to the following address

Mr. R. Ravichandiran, (AVP # Technical)
M/s. Shriprop Structures Pvt. Ltd
Lakshmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road, T. Nagar,
Chennai, Tamil Nadu-600017.

Please acknowledge this WO as the token of acceptance of specification, terms and conditions within two working days, else it will be assumed
that the WO with mentioned specifications, terms and conditions are accepted by you.

Prepared by : Mr Anand Krishna Ravindran

Review Status: Approved

Approval Status: Approved

Vendor Acceptance:

WORK ORDER



WO No : SPSPL/CHN/Shankari/2021-2022/4300002756

To,

Lalitha Metal Fabricators
No.32, Sidco Industrial Estate,Gummidipoondi
Chennai-601201
Ph No :
E-Mail :
GSTIN : 33AAEFL9485G1Z1
PAN : AAEFL9485G

Subject : Work Order for Issue of Work Order to "Supply and Installation of Chain Link Fencing" at Shriram Shankari # Lakeside Residences, Perumattunallur Village, Guduvancherry, Chennai. in Lakeside Residences at Shriram Shankari project in Shriram Sha

Dear Sir,

With reference to the above we are pleased to issue the work order for the above mentioned work with the following specifications, rates. terms and conditions.

You are requested to sign the duplicate copy of this letter and annexure as a token of your acceptance and return it for records.

Work order value - INR 18,99,525.00/- (Exclusive of tax)
(INDIAN RUPEES EIGHTEEN LAKH NINETY NINE THOUSAND FIVE HUNDRED TWENTY FIVE RUPEES ONLY.)

Thanking you,
Your's Faithfully
For SHRIPROP STRUCTURES PVT LTD

Approved

Encl: Annexure

Billing Address : SHRIPROP STRUCTURES PVT LTD, Lakshmi Neela Rite Choice Chamber New No.9 Chennai-600017
GSTIN : 33AALCS5700M1Z6

Registered Office :SHRIPROP STRUCTURES PVT LTD, Lakshmi Neela Rite Choice Chamber New No.9 Chennai 600017
Web : www.shriramproperties.com.

Shriprop Structures Private Limited

Lakshmi Neela Rite Choice Chamber, 1st Floor, New No. 9, Bazullah Road, T. Nagar, Chennai - 600 017.
Ph. : 044 - 4001 4410, 044 - 4001 4400

Ref: SSPL/SH-Ph-2 /PO /Fenit/4/10/18-19

9 Oct 2018

M/s.FENIT ENTERPRISES,
No: 28B, Sathy Gounder Thottam,
Madukkarai Road, Kurichi, Sidco Post,
Coimbatore,Tamil Nadu - 641 021.
Mob:+91 9382823002

Kind Attn: Mr.NithinPareedPillai ,Proprietor

Sub: Purchase Order for Supply of Garden lights in OSR Area at "Shriram Shankari" Residential Project.

Ref : Your Quotation Ref No: dated 19thJul 2018.

Dear Sir,

With Reference to the above subject, we are awarding the Purchase Order"Supply of Garden Lightning in OSR Area" to our site at Shriram Shankari Guduvancherry, Chennai.

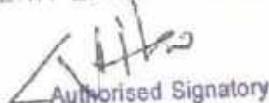
Contract Value:

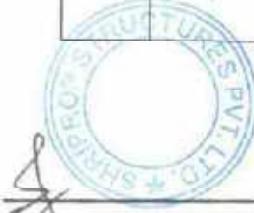
The Contract Value shall be Rs. 4, 82,036/- (Rupees Four Lakh(s) Eighty Two Thousand Thirty Six Only) is exclusive of GST, Duties and Labour Welfare Cess. Any new taxes imposed by the government, statutory bodies, etc., will be paid accordingly.

Project Brief:

SLN o.	Particulars	Terms
1	Scope & Brief Description	Supply of Garden Lightning in OSR Area at "Shriram Shankari" Guduvancherry at Chennai, Tamil Nadu.
2	Employer / Owner / Client and Address	SHRIPROP STRUCTURES PRIVATE LIMITED 9,First Floor, Bazullah Road, T. Nagar,Chennai - 600017. Ph : 044-40014410.
3	Site Address / Related Contact details	Shriram Shankari" Guduvancherry at Chennai, Tamil Nadu.
4	Contractor Address	M/s.FENIT ENTERPRISES,, No: 28B, Sathy Gounder Thottam, Madukkarai Road, Kurichi, Sidco Post, Coimbatore,Tamil Nadu - 641 021. Mob:+91 9382823002
5	Insurance of Works	The Contractor shall be responsible for insurance of their men and all such other insurances as applicable by law.

For FENIT ENTERPRISES


Authorised Signatory


8
R
Registered Office : No. 40/43, 8th Main, 4th Cross, RMV Extension, Sadashivnagar, Bangalore - 560 080.

Ph. : 080 - 4022 9999, Fax : 080 - 4022 9898, CIN : U45201KA2008PTC045030

Web : www.shriramproperties.com

SLN No	Particulars	Terms
6	Terms of payment	50% of the Payment along with the PO on producing valid Performa Invoice shall be raised by the Contractor. Balance 50% Payment will be made through A/c payee cheque within 4 Four working days from the date of submission of the invoice and supporting documents duly certified by the Site in charge when the contractor successful material delivery at site.
7	Taxes	The "Accepted rate" by the CONTRACTOR is excluding GST and shall be paid as extra.

Scope of Work:

Rs. 4, 82, 036/- (Rupees Four Lakh(s) Eighty Two Thousand Thirty Six Only) is exclusive of GST, Duties and Labour Welfare Cess. Any new taxes imposed by the government, statutory bodies, etc., will be paid accordingly.

Item No	Description of Work	Qty	Unit	Rate	Amount	Remarks
1	Supply of Garden lightning in OSR Area					
a	CAT REF: Keselec Sparta-80W-NW	6	Nos	6,911	41,466	
b	CAT REF: Deco pole 7mtr with straight bracket to mount three fixtures	3	Nos	14,000	42,000	
c	Supply of Keselec make 18W LED Bollard, a cadmium plated and PU painted 140mm cylindrical pipe, with Acrylic protector sealed to make an IP66 optical block, suitable for surface mounting on 4 x M10 Bold on 180mm PCD, system power (including driver loss) of 10W +/- 10% with lifetime residual flux L70 @ 50,000 hours at Ta = 500C, in build surge protection of 4KV (in differential and common mode), power factor > 0.95, IP 67 LED Driver, colour rendering Index > 80 and neutral white light (4000 K) CAT REF: Keselec VIO - 18W-1000 mm-Matte Black	30	Nos	11,252	337,560	
d	Cat Ref: NENA LED 25 W LED SYM/IP66/NW	2	Nos	16,708	33,416	
e	Cat Ref: Keselec Classic pole 3 mtr with GI PU Painted	2	Nos	6,297	12,594	
	Transport Chargers				15,000	
	Sub Total				4,82,036	



For FENIT ENTERPRISES

Authorised Signatory

Note: Any loss due to breakage, damage, leakage, pilferage etc due to faulty packing or handling or transport will be borne by you. Any demurrage or loss due to non compliance of this will be entirely to your account. The risk of the goods will be passed on to us only on our approval of the goods / materials.

Escalation:

The quoted Amount derived from the agreed Final Bill of Quantities (BOQ) / Offer is final and no escalation what so ever and under any circumstances shall be.

Personal Accident Policy

M/s. Shriprop Structures Pvt Ltd (SSPL) shall not be liable for or in respect or in consequence of any accident or injury to any workman or other person employed by you for the execution of the works. The Contractor shall indemnify the Employer against any claims, expenses or loss arising on this account.

Contractor shall ensure compliance with all statutes, laws, rules, and regulations of the central or state government or any other authority such as the workman's compensation act 1923, payment of wages act, minimum wages Act 1948, Employees state insurance act, employees provident fund act, etc. and any statutory modifications thereof in connection with employees engaged by them or their sub-contractors in the work.

Arbitration Clause

1. Disputes of a nature immediately affecting the quality, safety, progress rate or cost/price of any critical item of the work in progress, shall be immediately referred to Conciliation. Any such dispute shall not be a reason for stopping the work and the SSPL shall not stop the work, unless specifically so instructed in writing by PMC / SSPL. All matters shall be subject to the right of conciliation, and if conciliation fails, to arbitration as per provisions of the Indian Arbitration and Conciliation Act 1996 to be conducted at Chennai.
2. It is mutually agreed between SSPL and the contractor that the sole arbitrator acceptable to both parties will hear and guide the parties to resolve the dispute at the earliest and the decision of the arbitrator will be final and binding on both the parties. All other disputes shall be subject to jurisdiction of competent courts in Chennai.

Correspondence

All Bills and Invoice with respect to this job shall be addressed to the following address

Kind Attn : Mr. R. Radhakrishnan, (AVP - Projects)

M/s. Shriprop Structures Pvt Ltd
Lakshmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road, T.Nagar,
Chennai, Tamil Nadu-600017.



For FENIT ENTERPRISES Page | 3


Authorised Signatory

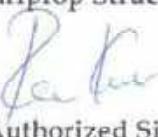
Ref: SSPL/SH-Ph-2 /PO /Fenit/4/10/18-19

Please confirm your acceptance of this Purchase order by signing the original copy of this letter of acceptance and returning it to us immediately. The duplicate copy is for your retention.

Thanking you.

Yours faithfully,

M/s.Shiprop Structures Pvt Ltd


(Authorized Signatory)
KAV Ramesh Kumar
COO - Chennai



For FENIT ENTERPRISES


Authorised Signatory
M/s.Fenit Enterprises,

(Authorized Signatory)
Nithin Pareed Pillai
Proprietor

Shriprop Structures Private Limited

Lakshmi Neela Rite Choice Chamber, 1st Floor, New No. 9, Bazullah Road, T. Nagar, Chennai - 600 017.
Ph. : 044 - 4001 4410, 044 - 4001 4400

Ref: SSPL/SH-Ph3/WO/Apex/01/02/18-19

7th Feb 2019

APEX TOPOMAPPERS PRIVATE LIMITED

NO. 20, First Floor,
West Park Road, (Behind Saibaba Temple),
Shenoy Nagar,
Chennai - 600 030.
Mob: +91 9840052513.

Kind Attn: Mr. S. Om Prakash, Director.

Sub: Issue of Work Order to "Topographical Surveying of the Site, Verification of the Building and Boundary & OSR Co-ordinates" at Shriram Shankari Phase 3 - Guduvancherry, Chennai.

Ref: Your Quotation No: 90 dated 19th Dec 2018.

Dear Sir,

With Reference to the above subject, we are awarding the Work Order for "Topographical Surveying of the Site, Verification of the Building and Boundary & OSR Co-ordinates", at our Site Shriram Shankari Phase 3, Guduvancherry, Chennai.

Contract Value:

The Contract Value shall be Rs. 48,735/- (Rupees Forty Eight Thousand Seven Hundred and Thirty Five Only) exclusive of GST. Any new taxes imposed by the government, statutory bodies, etc., shall be paid accordingly.

Project Brief:

SI. No	Particulars	Terms
1	Scope & Brief Description	"Topographical Surveying of the Site, Verification of the Building and Boundary & OSR Co-ordinates", Club House at Shriram Shankari Phase 3, Guduvancherry, Chennai.
2	Employer / Owner / Client and Address	SHRIPROP STRUCTURES PRIVATE LIMITED 9,First Floor, Bazullah Road, T. Nagar, Chennai - 600017. Ph: 044-40014410.
3	Site Address & Contact details	"Shriram Shankari" Perumattunallur Village, Guduvancherry Chengalpattu Taluk at Chennai, Tamil Nadu.
4	Contractor Address	APEX TOPOMAPPERS PRIVATE LIMITED NO. 20, First Floor, West Park Road, (Behind Saibaba Temple), Shenoy Nagar, Chennai - 600 030.
5	Time for Completion	7 days from date of Order.



Registered Office: No. 40/43, 8th Main, 4th Cross, RMV Extension, Sadashivnagar, Bangalore - 560 080.
Ph. : 080 - 4022 9999, Fax : 080 - 4022 9898, CIN : U45201KA2008PTC045030
Web : www.shriramproperties.com

SI. No	Particulars	Terms
6	Insurance of Works	The Contractor shall be responsible for insurance of their men and all such other insurances as applicable by law.
7	Terms of payment	<ul style="list-style-type: none"> 50% advance shall be released along order. Balance on completion of the work and against submission of the Auto cad drawings, 2 no. of colour printouts of Land Survey drawing and one CD containing the above mentioned drawing for the survey work.
8	Nature and scope of Work.	<ul style="list-style-type: none"> TRIANGULATION BOUNDARY SURVEY: The Boundary Survey of the Site will be carried out by us based on the outer boundaries shown by SPPL representative to M/s. Apex Survey Personnel at Site by using Total Station Instrument (EDM) and accordingly calculation of the area and Fix the North. SURVEY OF TOPOGRAPHIC FEATURES: Location of all Topo features like building out line, Utility Buildings, blocks, OSR marking of the site which will be shown in the drawings.
9	Taxes	The "Accepted rate" by the CONTRACTOR is excluding GST and shall be paid as extra.

Scope of Work:

S.No	Description	Qty	Unit	Rate	Amount
1	Topographical Surveying of the Site, Verification of the Building and Boundary & OSR Co-ordinates using Electronic Total Station and submission of the Auto cad drawings, 2 no. of colour printouts of Land Survey drawing and one CD containing the drawing as above mentioned.	36.1	Acres	1,350	48,735
	Total Amount				48,735

The Contract Value shall be Rs. 48,735/- (Rupees Forty Eight Thousand Seven Hundred and Thirty-Five Only) on Item Rate Basis excluding GST and Labour Welfare Cess. Man power details and rates are described in details hereunder.

Escalation:

The quoted Amount derived from the agreed Offer is final and no escalation what so ever and under any circumstances shall be.

Power and Water:

CONTRACTOR shall make his own arrangements for Power and Water at his Own Cost



and distribution arranged for construction & other facilities and for meeting the safety regulations for electrical works as per statutory requirements.

Time for Commencement and Completion of Works

The Date of Commencement shall be 3 days from the date issue of Work Order. The Time for Completion of Works shall be 7 Calendar days from the Commencement Date.

Quality Control:

You shall establish effective Quality Control System and implement the same through an independent team consisting of qualified and experienced engineers and technical personnel to enforce quality control on all items of works at all stages.

Safety Rules and Regulations:

The Contractor will abide by all safety rules, standards, specifications and practices in construction and also the instruction of our Safety Engineer at site. You are responsible for safety of your staff & employees, Employees of other agencies working in your area of operation. You shall delegate the responsibility of implementation of safety rules to one of your staff.

Housekeeping

Maintaining site premises in neat & clean manner is the prime responsibility of the package Contractor. Failing which SSPL will employ workers and the actual cost plus overhead charges will be debited from your claims.

Professional Integrity & Team Spirit

It is the intent of Shriram Shankari Campus that this project will be executed in a spirit of teamwork and full professional integrity. You shall co-operate and Co-ordinate with all agencies concerned to fulfil this objective.

Indemnity:

The Contractor shall indemnify and keep indemnified us from and against any and all loss, damage, expense (including legal costs on a full indemnity basis), or liability (whether criminal or civil) and costs of settlement suffered or incurred by us, due to any neglect or default by you, your agents, employees, partners, directors or representatives of yours or due to any breach of undertaking, loss, regulation and other statutory requirements in force in the territory or any other reason so long as such loss, expense, damage, fees or costs resulted from the acts, operations or negligence of yours.

Compliance of Labour Regulations:

The Contractor shall observe and comply with all laws applicable to Contract Labour Act, Interstate Migrant Workers Act and to workmen employed by them or any sub-Contractor



employed on the Works. In the event of any default by way of non-observance or non-compliance of the said laws / rules on your part or the sub-Contractor, you shall indemnify the Employer against any liabilities, actions and costs / expenses arising out of or in connection therewith.

The Contractor shall ensure compliance with all statutes, laws, rules, and regulations of the Central or State Government or any other authority such as the Workman's Compensation Act 1923, Payment of Wages Act, Minimum Wages Act 1948, Employees State Insurance Act, Employees Provident Fund Act, etc. and any statutory modifications thereof in connection with employees engaged by you or your sub-Contractor in the work.

Accident or injury to Workmen and Reporting:

M/s. SSPL shall not be liable for or in respect of any damages or compensation payable at law in respect or in consequence of any accident or injury to any workmen or other person in the employment of the Contractor/Vendor or his Sub Contractor. The Contractor/Vendor shall indemnify and keep indemnified M/s. SSPL against all such damages and compensation and against all claims, demands, proceedings, costs, charges and expenses whatsoever in respect thereof or in relation thereto.

The Contractor/Vendor shall be responsible for the safety of all employees and / or workers employed or engaged by him on and in connection with the works and shall report within twenty four (24) hours all cases of accidents to any of them, however caused and whenever occurring, to the Project Manager and shall make every arrangement to render all possible assistance and aid to the victims of the accident.

Termination of Order:

This Order may be terminated by either party upon Thirty (30) days' notice in writing in the event the other party should fail substantially to comply with the terms of the Order. In the event the Contractor/Vendor not abiding by his obligations under this deed, M/s. SSPL shall terminate his service without assigning any reason.

M/s. SSPL has the right to terminate the Order if the Contractor/Vendor fails to fulfil their obligations or violates any of the terms and conditions of the Order.

Arbitration Clause

1. Disputes of a nature immediately affecting the quality, safety, progress rate or cost/price of any critical item of the work in progress, shall be immediately referred to Conciliation. Any such dispute shall not be a reason for stopping the work and the SSPL shall not stop the work, unless specifically so instructed in writing by SSPL. All matters shall be subject to the right of conciliation, and if conciliation fails, to arbitration as per provisions of the Indian Arbitration and Conciliation Act 1996 to be conducted at Chennai.
2. It is mutually agreed between SSPL and the contractor that the sole arbitrator acceptable to both parties will hear and guide the parties to resolve the dispute at the earliest and the decision of the arbitrator will be final and binding on both the parties. All other disputes shall be subject to jurisdiction of competent courts in Chennai.



Correspondence

For Work and progress related enquiries shall be addressed to

Kind Attn: Mr. Balaselvan, DGM Projects

M/s. Shriprop Structures Pvt Ltd,
Shriram Shankari,
Perumattunallur Village,
Guduvancherry, Chengalpattu Taluk,
Chennai, Tamil Nadu.

All Bills and Invoice with respect to this job shall be addressed to the following address

Mr. R. Radhakrishnan, (AVP - Projects)

M/s. Shriprop Structures Pvt Ltd,
Lakshmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road,
T. Nagar, Chennai,
Tamil Nadu - 600017.

Please confirm your acceptance of this Work order by signing the original copy of this letter of acceptance and returning it to us immediately. The duplicate copy is for your retention.
Thanking you.

Yours faithfully,

M/s. Shriprop Structures Pvt. Ltd


(Authorized Signatory)
KAV Ramesh Kumar
COO - Chennai



M/s. Apex Topomappers Private Limited

(Authorized Signatory)
S. Om Prakash
Director

Annexure 36

Construction Phase and Operation Phase

EMP Head wise expenses

Date: 29/12/2025

CERTIFICATE

I hereby certify that the residential project of **M/s. Shriprop Structures Private Limited** as SF No: 16/4A, 16/4B, 65/4 (4A), 65/5A, 65/5B, 76/4, 76/5, 77/1A, 77/1B, 77/2B, 77/2C1A, 77/2C1B, 77/2C1C, 77/2C1D, 77/2C1E, 77/2C1F, 77/2C2, 77/3A, 77/3B, 78/1, 78/2, 79/1, 79/2, 80/1, 80/2, 81/1, 81/2, 82, 83, 85, 86/1B, 86/1C, 86/2A, 86/2B, 87/1A, 87/1B1, 87/1B2, 87/2A, 87/2B, 87/2C, 88/1, 88/2, 88/3, 89/2, 89/3A, 89/3B, 89/3C, 89/4A, 89/4B, 90, 95/4 (4A) in Perumattunallur Village, Vandalur Taluk, Chengalpattu District, cost spent towards Environmental Management Plan for the period 2024-25 including capital cost spent from the start of the Project as given below.

Construction Phase		Operation Phase	
Capital Cost	Recurring Cost	Capital Cost	Recurring Cost
13.50	29.10	569.22	153.47

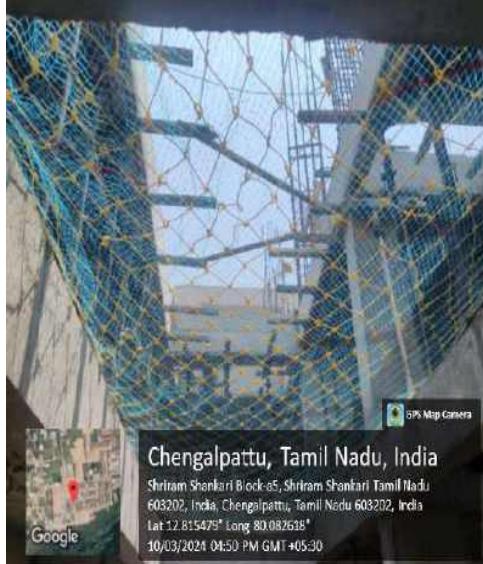
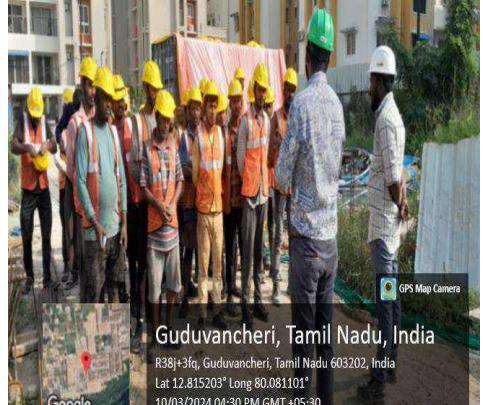
The above-mentioned cost is based on the data submitted to us for verification



K. GOPALAKRISHNAN
Chartered Accountant

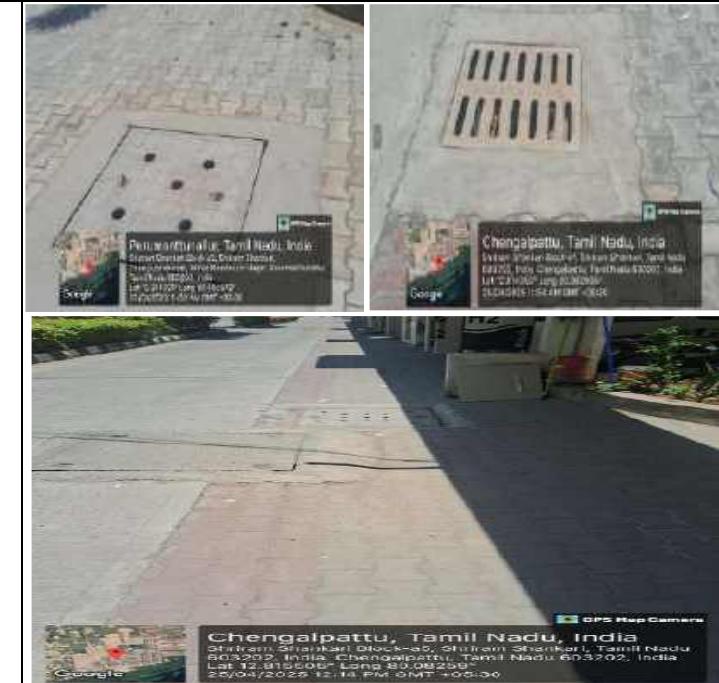
M. No. 206519
Proprietor
Signature

Construction Phase					
S. No	Description	Activity Done	Capital Cost (In Lakhs)	Operational Cost (In Lakhs)	Evidence
1.	Drinking Water & Sanitation	During the Construction phase Drinking water provision & temporary toilets with sanitation provided	1.50	7.30	
2.	Storm water management	Silt traps, covering of construction materials, drains provided	1.0	0.5	
3.	Solid waste management	Collection of construction waste managed by workers	1.0	4.80	
4.	Environmental Monitoring	Monitoring of Environmental Impacts	-	6.0	

5.	Dust suppression measures	Dust barriers, scaffolding cloth, dust suppression through sprinklers	5.0	6.5	 <div style="border: 1px solid black; padding: 5px; display: inline-block;"> GPS Map Camera Chengalpattu, Tamil Nadu, India Shri Ram Shankari Block-45, Shri Ram Shankari, Tamil Nadu 603202, India, Chengalpattu, Tamil Nadu 603202, India Lat 12.815479° Long 80.082618° 10/03/2024 04:50 PM GMT +05:30 </div>
6.	Occupational Health & Safety	PPEs provided for workers, Health monitoring facilities provided, first aid kits provided	5.0	4.0	 <div style="border: 1px solid black; padding: 5px; display: inline-block;"> GPS Map Camera Guduvancheri, Tamil Nadu, India R384+370, Guduvancheri, Tamil Nadu 603202, India Lat 12.815203° Long 80.081101° 10/03/2024 04:30 PM GMT +05:30 </div> 
Total Cost		13.50	29.10	Total – 42.60	

S. No	Description	Activity Done	Capital Cost (In Lakhs)	Operational Cost (In Lakhs)	Evidence
1.	Water Treatment (Water Treatment Plant and Sewage Treatment Plant)	Dependence on fresh water reduced through recycling of treated water from STP (800 KLD + 350 KLD). Treated water utilized for Toilet flushing and Greenbelt development	161.50	16.02	       

2.	Fresh Water and Treated Water	Fresh water supply 1050 KLD through local body and bore wells, Disposal of Excess Treated water to avenue plantation	82.0	78.11	 <small>GOVERNMENT OF TAMIL NADU MINISTRY OF ENVIRONMENT AND FORESTS Circular stamp of the Government of Tamil Nadu, Ministry of Environment and Forests, dated 2011.</small>
3.	Solid Waste Management	Municipal Solid Waste, Hazardous Waste, E Waste, etc.	29.01	21.68	
4.	Energy Conservation	Solar water heater on the roof top area	137.66	13.77	

5.	Environmental Monitoring	Monitoring Ambient Air & Noise, Water Quality, DG Stack & Noise, STP Treated water Quality	-	4.89	
6.	Rain Water Harvesting Systems	Rain water harvesting structures – RWH Pits, Sump, Open Wells, Trenches	40.25	5.50	

7.	Occupational Health & Safety	Provide Fire Safety systems in Operation Phase	10.0	1.0	
8.	Greenbelt Development	Greenbelt Developed within the premises as per the proposal	14.46	12.50	

10.	CSR Activities	Development of OSR area, Temples, etc	94.34	-	   
Total Cost			569.22	153.47	Total – 722.69

Annexure 37
Flats Hand Over Letter

SHRIPROP STRUCTURES PRIVATE LIMITED

Date: 16.07.2025

To

The District Environmental Engineer,
Tamil Nadu Pollution Control Board,
Maraimalai Adigalar Street,
Next to Municipal Office,
Maraimalai Nagar,
Chennai-603 209.

Dear Sir,

Sub: Clarification for PROC.NO. F.0594MMN/RL/DEE/TNPCB/W/2025 Dated :09.07.2025

**PROC.NO. F.0594MMN/RL/DEE/TNPCB/A/2025 Dated :09.07.2025 and residential project by
M/s. Shriprop Structures Pvt Ltd at Perumattunallur Village, Chengalpattu District – Reg.**

We are writing to provide clarification regarding our residential project developed by M/s. Shriprop Structures Pvt Ltd, located at S.F. Nos. 16/4A, 4B, 65/4, 5A, 5B; 76/4, 5; 77/1A, 1B, 2B, 2C1A, 2C1B, 2C1C, 2C1D, 2C1E, 2C1F, 2C2, 3A, 3B; 78/1, 2; 79/1, 2; 80/1, 2; 81/1, 2; 82; 83; 85; 86/1B, 2A, 2B, 1C; 87/1A, 1B1, 1B2, 2A, 2B, 2C; 88/1, 2, 3; 89/2, 3A, 3B, 3C, 4A, 4B; 90; 95/4, Perumattunallur Village, Vandalur Taluk, Chengalpattu District.

The residential project comprises 27 towers with 2254 residential units and a clubhouse, having a total built-up area of 267,677.02 sq. m. The project was granted Environmental Clearance as per TNPCB Proceedings No. T5/TNPCB/F.0594MMN/RL/MMN/A/2017 dated 18.07.2017, valid up to 31.03.2024.

Subsequently, we applied for Consent for Phase I of the residential complex, comprising 13 towers with 1056 residential units and a total built-up area of 143,311.86 sq. m, located in the same village. Consent was obtained vide TNPCB PROCEEDINGS NO.T3/TNPCB/F.0594MMN/RL/MMN/A&W/2022 DATED: 01/07/2022, valid up to March 31, 2023

Thereafter, as per the attached handover agreement, Phase I of the project was handed over to M/s. Shriram Shankari Flat Owners Welfare Association (Registration No. 606/2016) on 26.07.2022. Phase I, along with the STP Capacity 800 KLD, DG sets, WTP and associated common facilities, was developed and handed over by us and has been managed by the association since then.

Hence, we would like to convey that all responsibilities pertaining to the above-mentioned areas will henceforth lie with M/s. Shriram Shankari Flat Owners Welfare Association. We kindly request you to direct all related communications to the association.

Thanking you,

For Shriprop Structures Pvt Ltd



Registered Office :

'Shriram House', No. 31, T Chowdiah Road,
Sadasivanagar, Bengaluru - 560 080

P: +91-44-40014410 | W: www.shriramproperties.com

CIN No.: U45201KA2008PTC045030

Correspondence Address:

Lakshmi Neeta Rite Choice Chamber, 1st Floor,
#9, Bazullah Road, T.Nagar, Chennai - 600 017.



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Abstract

CONSIDER THE REMITTANCE OF CONSENT FEES BY THE SOCIETY/WELFARE ASSOCIATIONS OF BUILDING AND CONSTRUCTION PROJECTS BASED ON THE GROSS FIXED ASSETS VALUE OF AMENITIES SUCH AS COST OF SEWAGE TREATMENT PLANT, ORGANIC WASTE CONVERTOR, DIESEL GENERATOR SETS FOR OBTAINING RENEWAL OF CONSENT OF THE BOARD EVERY YEAR

B.P. No. 65

Date:27/11/2019

Ref: 1. Committee report submitted to the Board on 12.04.2018
2. Minutes of Committee report meeting dated 09.05.2018

Building and Construction Projects are swiftly growing due to rapid urbanization of cities and towns. Major environmental impacts of construction projects involve habitat destruction, loss of arable land, loss of biodiversity, waste disposal, pollution, desertification, soil erosion and material wastage etc. which also result in pressure on finite natural resources and creating impacts on human health and well-being. Further, construction projects with inadequate system of sewage collection and treatment lead to ground water contamination or water pollution in lakes and rivers.

Tamilnadu Pollution Control Board, as per the provisions of Water (P&CP) Act, 1974 as amended and Air (P&CP) Act, 1981 as amended, issues consent for the Building & construction projects and the unit shall commence / start the construction/operation only after obtaining CTE/CTO of the TNPCB.

Also, as per the EIA notification, 2006, "Construction of new projects or activities or the expansion or modernization of existing projects or activities listed in the Schedule to this notification entailing capacity addition with change in process and/ or technology shall be undertaken in any part of India only after the prior

environmental clearance from the Ministry of Environment, Forests and Climate Change, Central Government as the case may be, by the State Level Environment Impact Assessment Authority". As per the Schedule No. 8(a) of the EIA Notification, 2006, Building and construction projects with $\geq 20,000$ sq.m and $< 1,50,000$ sq.m of built up area shall obtain Environmental Clearance as stated above.

However, the Project Proponents after establishing their projects and after obtaining / without obtaining CTO from the Board, proper operation and maintenance of STPs not being carried out and also operating without obtaining renewal of consent from the Board and the same is more prominently observed when the projects are handed over to the Residents Welfare Association.

The Chairman, TNPCB during review meeting held with the JCEE(M), TNPCB, Chennai zone on 26.03.2018 has instructed to find a solution to the issue of operation and maintenance of STPs provided in the gated communities, residential apartment complexes and has also instructed to study the issue and come out with a solution within fifteen days..

In this regard a three member committee was constituted with the following officers.

1. Thiru. R. Kannan, Joint Chief Environmental Engineer, TNPCB, Chennai
2. Thiru. D. Vasudevan, District Environmental Engineer, TNPCB, Ambattur
3. Dr. A. Samuel Rajkumar, Environmental Engineer, TNPCB, Chennai

The Committee after a detailed study has submitted their report on 12.04.2018 . The Committee viewed that on ascertaining the procedures followed with regard to the construction projects in other states such as Telangana, Maharashtra and Karnataka, observed that there is no clarity in respect of Annual maintenance Contract for continued operation of STPs and on fixing the responsibility for the same with the builders or the society taking over the project after completion of the project.



TAMILNADU POLLUTION CONTROL BOARD



Further, as per Tamil Nadu Real Estate (Regulation and Development) Rules, 2017 under Rule 11 (f), "The Allottee shall either in his/her/its/their individual capacity or as a member of the Association / Society, after its formation, come to an understanding with the other owners of the apartment shall operate and maintain all the essential amenities like STP, RO, Genset, fire fighting equipments, elevator, piped gas, rain water harvesting etc either individually or through the Association whenever required and in good running condition. It is the responsibility of the Allottee and/ or the Association to ensure proper assistance to the government officials concerned during periodical inspection".

Based on the above, the Committee has recommended the following:

"Consent fee for the issue of CTE and CTO for the Construction projects involving Residential Group Housing Projects / Apartments and Commercial establishments are being levied based on total GFA value (GFA value of land, building, machineries, STP, etc.). However, for subsequent renewal of consent, Fee may be levied only for the Gross Fixed Asset value of the STP & DG Sets so that it is easier for residential associations to pay annual consent fee and TNPCB shall also have proper monitoring of STPs. The above subject for revision of consent fees based on STP cost shall be placed before the Board and subsequently sent to the Government for further approval."

Subsequently, a meeting was conducted on 9.05.2018 in the Conference hall, Environment & Forest Dept, Secretariat, Chennai regarding the Committee's report and recommendations. During the said meeting, It was concluded that

" as per Committee's recommendation, residential projects after obtaining CTO & handing over to the Residents Welfare Association shall obtain Renewal of Consent and shall remit consent fee based on Gross Fixed Asset value of the STP, DG Sets, Organic Waste Convertor. Further, guidelines on the above issue to be obtained from CPCB, Delhi.".

Subsequently the CPCB has been addressed vide T/O. letter dt. 30.05.2018 to provide views and guidelines on the Committee's report and recommendation. Reply is yet to be received from CPCB.

As per B.P.No. 06 dated 02.08.2016, building and construction projects are categorized based on the pollution load and is given as follows:

- S.No. 1063- Building and construction project more than 20,000 sq.m built up area and having waste water generation 100 KLD and above are classified under the Red category and
- S.No. 2021- Building and construction project more than 20,000 sq.m built up area and having waste water generation less than 100 KLD are classified under Orange category

Further it is submitted that

- For Building and construction projects, the builder obtains CTE initially and then obtains CTO after CTE from the Board, after remitting Consent Fee based on Total Project Cost as Gross Fixed Assets.
- Once the construction is over, the Project Proponents hand over the property to the Society/Welfare Association. Society/Welfare Association finds difficult to remit the consent fees based on Total Project Cost as Gross Fixed Assets. Since, the Society/Welfare Association oversee the environmental compliance for consent conditions of the Board, such as operation and maintenance of Sewage Treatment Plant, DG Sets & Organic Waste Convertor.
- Moreover, Consent fee are to be collected from the tenants. Lot of representations are being received from the building Society/Welfare Association expressing the difficulties in remitting the consent fees. Once, consent fee for renewal is based on cost of amenities such as Sewage Treatment Plant, DG Sets & Organic Waste Convertor as Gross Fixed Assets, the Society/Welfare Association able to obtain renewal consent of the Board.



- Society/Welfare Associations have to maintain the Green Belt Development outside their premises for environmental protection.

Further, it is submitted that, the cost of Annual Maintenance Contract (AMC) for operating and maintaining Sewage Treatment Plant (STP) also shall be included in calculating the Gross Fixed Assets (GFA) value for CTE/CTO/RCO. This will ensure that the Project Proponent executes AMC before handing over the projects to Society/Welfare Association for continuing the operation and maintenance of STP. The period of AMC shall be decided by the Board.

The Project Proponent obtains CTE and in some cases they do not obtain CTO & even in most cases they do not obtain RCO. In the said circumstances, the Board shall issue CTE to the Building and Construction projects in the name Project Proponent with the following conditions:-

- (1) The Project Proponent shall obtain CTO after CTE before handing over of the apartments to the residents.
- (2) The Project Proponent shall give an undertaking stating that they shall obtain CTO after CTE, before handing over of the project to the residential association.
- (3) The compliance with the conditions imposed while issuing CTE/CTO to the other projects undertaken by the builder will be verified while issuing CTE/CTO for the subsequent projects proposed by the same construction firm.

The Board shall write to the other Government agencies like Registration Department, TANGEDCO, CMDA/DTCP and local bodies to make CTO under Water & Air Acts as mandatory document at the time of Registration of Residential apartment, Electricity connection to the individual Apartment, issuing completion certificate for the project by the respective Agencies.

In view of above, the matter of remittance of consent fees based on cost of Sewage Treatment Plant, DG Sets & Organic Waste Convertor for Building and construction projects as Gross Fixed Asset value by the Society/ Welfare Associations while applying for renewal of consent under Water Act and Air Act under Red (S.No. 1063) Category and Orange (S.No. 2021) category of the Board is placed before the Board on 18.11.2019.

The Board vide Resolution No.279-1-8 has gone through the proposal and noted that once the CTO is issued Building and Construction projects under Sl.No.1063 (Red) and Sl.No.2021 (Orange) in B.P.No.6 dated 02.08.2016, the Projects proponents hand over the flats/buildings to the owners. The common utilities such as Sewage Treatment Plant, DG sets, and Organic Waste Converter for solid waste management etc., are handed over to the Residential Welfare Association for further operation and maintenance. Hence there is no need of renewal of consent by the Project Proponents. However, the common utilities shall be operated and maintained continuously to meet the standards prescribed by the Board.

Therefore, the Board resolved that once the project is completed and handed over to the Owners/Residential Welfare Association, the CTO granted under Sl.No.1063 and 2021 is no longer applicable since the project is already complete, and hence, they (Owner/Association) shall be required to apply for fresh consent to operate for the common utilities which includes Sewage Treatment Plant, DG sets, Organic Waste Converter etc., under the Water (P&CP) Act, 1974 and the Air (P&CP) Act, 1981. Since the O&M cost, payment of consent fee etc., are to be borne by the residents, the Board resolved that the direct CTO shall be issued for a period of five years on receipt of single fee each under Water (P&CP) Act, 1974 and the Air (P&CP) Act, 1981 for first time. Thereafter, they should apply for renewal of consent once in five years along with the consent fees.



TAMILNADU POLLUTION CONTROL BOARD



The Board has also directed that the above utility services in the Buildings shall be suitably categorized and included in the B.P.No.6 dated 02.08.2016.

6-6-2016
For Member Secretary

To

1. All Joint Chief Environmental Engineer (Monitoring),
Tamil Nadu Pollution Control Board.
2. All District Environmental Engineers heading the District
Tamil Nadu Pollution Control Board.
3. All HODs in Board

Copy to

1. Financial Advisor
2. Manager (P&A)
3. BMS
4. All District Environmental Engineers
5. File
6. Spare

Shriprop Structures Private Limited

Lakshmi Neela Rite Choice Chamber, 1st Floor, New No. 9, Bazullah Road, T. Nagar, Chennai - 600 017.
Ph. : 044 - 4001 4410, 4001 4400

To:

Dated: 20-07-2022

The Secretary,
Shriram Shankari Flat Owners Welfare Association [SSFOWA],
Shriram Shankari,
Perumattunallur Village,
Chengalpattu District, PIN: 603202

Sir,

Sub.: Handover of common areas of Phases 1 and 2 and its maintenance activities in Shriram Shankari Project – Reg.

Greetings from Shriprop Structures Private Limited.

With reference to the subject and in connection with the meeting held on 5th February 2022, the outcome of which was captured as Minutes of the Meetings [MOM], agreed to mutually by us and subsequently submitted the Deed of Compromise, jointly, before the Honourable Authority of TNRERA, we have started the Handing over process on 16th May 2022. During the entire process, we had meetings on 16th May, 3rd June and 20th June 2022 and the same were recorded as minutes, wherein around 91 Points related to the Shriram Shankari Project was exhaustively discussed and agreed on 16th July 2022, mutually. We appreciate your concerns raised and we assure you that we will honour all our commitments within the stipulated time mentioned in the minutes.

Further, SSFOWA shall take over the maintenance activities of the upcoming Phases once they are handed over to the concerned owners in the respective Phases. The corpus fund collected from the aforesaid owners would be handed over to SSFOWA, upon such handing over.

SSFOWA shall declare and undertake not to cause/do any hindrance to the construction activities in the said project which may badly affect the people who have invested their hard earned money.

We are happy with the professional approach of SSFOWA during the discussions and as committed by us before the TNRERA Authority, we will handover the common areas of Phases 1 and 2 and its maintenance activities of the Shriram Shankari Project to SSFOWA with effect from 26th July 2022.

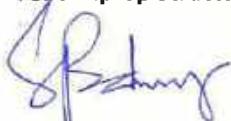
You are requested to make necessary arrangements for deputing manpower to operate and maintain the common areas from 26th July 2022, onwards and we will be withdrawing our services by 25th July 2022 from 23:59 hrs.

All the Best.

Accepted

For Shriprop Structures Private Limited

For SSFOWA



S. Balasubramanian

Authorised Signatory



P. Ganesh Kumar

Secretary



FORM NO.II

[See rule 8 of the Tamil Nadu Societies Registration Rules, 1978]

CERTIFICATE OF REGISTRATION UNDER SECTION 10 OF THE TAMILNADU SOCIETIES REGISTRATION ACT, 1975 (TAMIL NADU ACT 27 OF 1975)

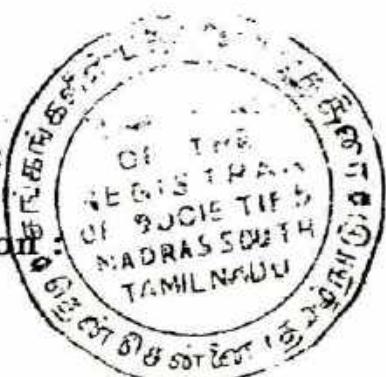
CERTIFICATE OF REGISTRATION OF SOCIETIES

Sl.No.606 of 2016

I hereby certify the Society "SRI RAM SANKARI FLAT OWNERS ASSOCIATION" has changed its name as "**SHRIRAM SHANKARI FLAT OWNERS WELFARE ASSOCIATION**" and the changed name has this day been registered under the TAMIL NADU SOCIETIES REGISTRATION ACT 1975, (TAMIL NADU ACT 27 OF 1975)

Given under my hand at **Chennai South** on this the **12th** day of **JULY 2017**.

Seal :



Station



**Registrar of Societies,
Chennai South.**

நியகங்களின் பதிவாளர்
தென்கென்னை

To:

Dated: 02-04-2025

The Secretary,
Joy Flat Owners Welfare Association [JFOWA],
Shriram Shankari Project,
Perumattunallur Village,
Chengalpattu District, PIN: 603202

Sir,

Sub.: Handover of Common areas of Phase 3 /and / Common amenities of Shriram Shankari Project

Greetings...!!!

We are pleased to Handover the Common areas of Phase 3 and the Common amenities of Shriram Shankari project along with necessary Title documents, Site documents, Approvals, Drawings, and Statutory compliance records for the continuation of maintenance activities, after the completion of our maintenance activities until 31st August 2025 as per our commitment. We appreciate your concerns and we assure you that we will honour our accepted commitments within the completion of maintenance period.

All Flat owners along with JFOWA and SSFOWA and any other registered associations in the project shall have full rights to all Common areas and Common amenities available in the project. The Common areas and Common amenities available in the project shall not be exclusive for any Phasewise owners/associations and are meant for equal shared usage of all owners and associations of the entire project.

On completion of the maintenance period, the JFOWA shall take over the Maintenance operation effective 1st September 2025, or earlier as per mutual convenience. The Corpus Fund will be handed over subject to absence of any legal issues restricting such transfer.

Furthermore, we are extending our full support in formation of a Federation, in line with the Tamil Nadu Apartment Ownership Act, 2024, to facilitate smooth coordination and governance among the associations.

The JFOWA shall declare and undertake not to cause / do any hindrance to the present / proposed construction activities including the unallotted car parks of the promoter in any phase of the project which are meant for the allotment of prospective Flat buyers of the project, any disruption in this regard may adversely impact the interests of other existing and future Flat owners who have invested their hard earned money in good faith.

We sincerely appreciate the professionalism and collaborative spirit displayed by JFOWA in our interactions so far. We look forward to continued cooperation until the complete handover of project / operations. We invite the members of JFOWA and resident representatives to begin the transition process of daily maintenance operations along with existing FM team which will ensure a smooth takeover of Common Areas and Amenities with effect from 01 September 2025, as we will be withdrawing our services on 31 August 2025. All the Best.

Handedover

For Shriprop Structures Private Limited

Authorised Signatory



Accepted by JOY FLAT OWNERS WELFARE ASSOCIATION
For JFOWA

Krishnaprabu – Secretary

Secretary

G. Dar
2.4.25
Vice President

For JOY FLAT OWNERS WELFARE ASSOCIATION

E. Ramam
Treasurer

Registered Office :

'Shriram House', No. 31, T Chowdaiah Road,
Sadashivanagar, Bengaluru - 560 080

P: +91-44-40014410 | W: www.shriramproperties.com

CIN No. : U45201KA2008PTC045030

Correspondence Address:

Lakshmi Neela Rite Choice Chamber, 1st Floor,
#9, Bazullah Road, T.Nagar, Chennai - 600 017.



FORM NO.II

(See Rule 8 of the Tamil Nadu Societies Registration Rules, 1978)

CERTIFICATE OF REGISTRATION UNDER SECTION 10 OF THE TAMIL NADU SOCIETIES REGISTRATION ACT,1975 (TAMIL NADU ACT 27 OF 1975)

CERTIFICATE OF REGISTRATION OF SOCIETIES

Sl. No. SRG/Chengalpattu/114/2024

I hereby certify that **JOY FLAT OWNERS WELFARE ASSOCIATION** has this day been registered under the Tamil Nadu Societies Registration Act,1975 (Tamil Nadu Act 27 of 1975).

Given under my hand at Chengalpattu this 19th day of September, 2024

Date :19-Sep-2024

Digitally Signed by Thiru/ Tmt/ Selvi

Station : Chengalpattu

ARIVAZHAGAN G

Signature of the Registrar

Signature Not Verified

Digitally signed by
Date: 2024.09.19
15:23:19 IST

On-line Payment Receipt

Receipt No.	134798287
Depositor Name	Mr Venkatachalapathi
Bank Id.	410
Bank Name.	NA
Application No.	68934187
Name and Address of Industry	JOY FLAT OWNERS WELFARE ASSOCIATION, S.F. No. 16/4A, 4B, 65/4, 5A, 5B; 76/4 etc., Perumattunallur Village, Vandalur Taluk, Chengalpattu District, VANDALUR, Chengalpattu
Name of Regional Office	DEE MMNAGAR
Applied For	CTO - Air & Water - direct
Payment Date	Fri Sep 05 11:49:02 IST 2025
Payment Details	
Consent Fee (Rs.)	20800.0
Consent Fee (Rs.)	20800.0
Total Amount Paid (Rs.)	20814.16
Transaction Status	Successfully Completed

[Proceed](#) [Print](#)
Important Note: Please proceed also otherwise your payment details will not be seen in Consent Remittance Fee Status.

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Welcome JOY FLAT OWNERS WELFARE ASSOCIATION

Date : 5-9-2025

Consent Application Details

Application No : 68934187

Congratulations! Application submitted successfully.

Please submit the signed hard copy of application with required signed enclosures to concerned District office on request of DEE/AEE concerned.

Your Consent Application application has been received under the Application Number **68934187**. *(Note this number for future communication and know the online status of the application submitted)*

Submitted application is under processing. Please send the following documents by post/by hand. You may ignore sending the documents which have been uploaded online.

- 1) A covering requisition letter stating the status of the industry and activities clearly.
- 2) Copy of sale Deed /Lease Deed or any other relevant documents as proof to ensure possession of the site/factory for which application is made by the applicant.
- 3) Copy of Memorandum of Articles in case of Public/Private sectors or registered partnership deed in case of partnership company.
- 4) Layout plan showing the location of various process equipments, utilities like boiler, generator etc, effluent treatment plant, outlet location, non-hazardous and hazardous waste storage yard.
- 5) Topo sketch showing the distance of water bodies, roads, existing/proposed residential areas, agricultural lands, important religious locations, educational institutions, ancient monuments, archeological places and other sensitive areas for 1 KM. radius from the units.
- 6) Detailed manufacturing process for each product along with detailed process flow chart.
- 7) Details of Water Balance and wastewater balance for process.
- 8) Details of Material balance for each products and process.
- 9) Land use classification certificate as obtained from CMDA / DTCP/LPA.
- 10) Audited Balance sheets indicating the existing Gross fixed Assets of the industry alone for the periods ending Previous financial Years (or) Auditor Certificate with break up details for the Existing Gross fixed Assets for the periods ending Previous financial Years duly certified by a Chartered Accountant in the prescribed format.Audited balance sheet is compulsory for all large and medium scale Industries
- 11) Ground water clearance obtained from the competent Authority(If applicable).
- 12) Sewage Treatment Plant(STP) proposal which must contain details of design characteristics of sewage, treatment methodology, mode of disposal, design criteria for various units, detailed drawing of STP and its layout, diagram showing the hydraulic profile and mode of disposal of treated sewage and its adequacy(If applicable).
- 13) Effluent Treatment Plant(ETP) proposal which must contain details including breakup quantity of water requirement with sources, breakup quantity of trade effluent, sources of trade effluent, characteristics of wastewater, treatment methodology, mode of disposal, design criteria for various units, detailed drawing of ETP and its layout, diagram showing the hydraulic profile and mode of disposal of treated effluent and its adequacy(If applicable).
- 14) Air pollution control (APC) measures proposal which must contain the details regarding fuels used, sources of emission, characteristics, concentration and quality of pollutant, proposal along with design criteria and drawing for the proposed APC measures, adequacy of APC measures and stack, odour/noise causing operations and its specific odour/noise control measures(If applicable).
- 15) In case of hazardous chemicals used as raw materials, the Material Safety Data Sheets (MSDS) should be enclosed for each and every item. If the quantity of the hazardous chemicals handled is more than the threshold limit, the unit shall furnish any one or combination of the following documents as required under the MSIDC Rules (If applicable). Risk assessment report/Onsite emergency preparedness plan/Off site emergency preparedness plan.
- 16) In case of transport of hazardous chemicals, details of chemicals transported, method of transport and its safety measures (If applicable).
- 17) Industries attracting EIA Notification shall submit Environmental Clearance obtained from the MOEF/SEIAA along with the Environmental Impact Assessment Report (If applicable).
- 18) CRZ clearance obtained from the competent Authority (If applicable).
- 19) Consent fee under Water and Air Acts payable to the Board.
- 20) Copy of Latest Environmental Statement (If Applicable).

To view the submitted application form click onto "View Application Form" and To print the application form click onto "Print Air Application Form" and "Print Water Application Form"

[View Application Form](#)
[Print Air Application Form](#)
[Print Water Application Form](#)

In case documents have not been submitted online, kindly send the above documents at the earliest to start application processing on the below address or at corresponding regional office:

Head Office Address
Member Secretary
Tamil Nadu Pollution Control Board
76, Mount Salai, Guindy, Chennai - 600 032,
Chennai, India
Phone: +91-44 - 22353134, 22353141
Website: <http://www.tnpcb.gov.in>

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Annexure 38

Treated Water Disposal Letter

விடுநர்

திரு. சி. கிருஷ்ணமூர்த்தி
வட்டார வளர்ச்சி அலுவலர் (வ.ஐ),
காட்டாங்குளத்தூர் ஊராட்சி ஒன்றியம்

பெறுநர்

Shriprop Structures Private Limited,
Lakshmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road,
T. Nagar, Chennai - 600 017

ந.த.எண்: 951/2015/து4 நாள் 06.03.2015

பொருள் - காட்டாங்குளத்தூர் ஊராட்சி ஒன்றியம் - பெருமாட்டுநல்லூர் ஊராட்சி, சர்வே எண் 16/4கி, 16/4பி மற்றும் பிற இடங்களில் அமைந்துள்ள அடுக்குமாடி குடியிருப்புகளிலிருந்து வெளியேறும் சுத்திகரிக்கப்பட்ட கழிவுநீரை பயன்படுத்துதல் தொடர்பாக.

பார்வை - Shriprop Structures Private Limited, Letter dated 05.03.2015

பார்வையில் காணும் நிறுவனத்திடமிருந்து வரப்பெற்ற கடிதத்தில் குறிப்பிட்டவாறு, சர்வே எண் 16/4கி, 16/4பி மற்றும் பிற இடங்களில் அமைந்துள்ள அடுக்குமாடி குடியிருப்புகளிலிருந்து தினசரி வெளியேறும் சுத்திகரிக்கப்பட்ட கழிவு நீரை மறுசுழற்சி செய்து குடியிருப்பு உபயோகத்திற்கு பயன்படுத்திய பின் மீதமுள்ள உபரி நீரை சாலையோர் டுங்கா மற்றும் மரங்களுக்கு பயன்படுத்துமாறு கோரியுள்ளனர்.

மேற்படி நிறுவனத்திற்கு நகர் ஊரமைப்பு துணை இயக்குநர், செங்கல்பட்டு அவர்களிடமிருந்து வரைபட அனுமதி வழங்கப்பட்டு, பெருமாட்டுநல்லூர் ஊராட்சி மன்றம் மூலம் இறுதி ஒப்புகல் வழங்கப்பட்டுள்ளது. எனவே, மேற்படி நிறுவனம் கோரியபடி உத்தேச குடியிருப்புகள் உருவான பின், குடியிருப்பு கட்டிடங்களில் தினசரி வெளியேறும் சுத்திகரிக்கப்பட்ட கழிவுநீரை மறுசுழற்சி செய்து குடியிருப்பு பயன்பாட்டிற்கு பயன்படுத்திய பின் மீதமுள்ள உபரி நீரை சாலையோர் டுங்கா மற்றும் மரங்களுக்கு பயன்படுத்திக் கொள்ள அனுமதிக்கப்படுகிறது.

இணைப்பு - மேற்படி கடித நகல்

வட்டார வளர்ச்சி அலுவலர் (வ.ஐ),
காட்டாங்குளத்தூர்.

நகல்

Shriprop Structures Private Limited,
Lakshmi Neela Rite Choice Chamber,
1st Floor, New No.9, Bazullah Road,
T. Nagar, Chennai - 600 017

13/3/15

Annexure 39
Bulk Waste Disposal Letter
&
Solid Waste Management Photos

மறைமலைவந்தர் நகராட்சி
செங்கல்பட்டு மாவட்டம்

மு.க.எண்:1145/2023/எச்1

நகராட்சி அதுவங்கம்,
மறைமலைவந்தர்
நாள்: 10.11.20205.

சான்று

செங்கல்பட்டு வட்டம், மறைமலைவந்தர் நகராட்சி எல்லைக்குட்பட்ட M/S.S.P.R.எண்டர்பிரைசன் எஸ்டான்சியா வளாகத்தில் ஜி.எஸ்.ரோடு எண்.எச்.45 வஸ்வாஞ்சேரி, மறைமலைவந்தர் என்ற முகவரியில் செயல்பட்டு வரும் தங்களுக்கு இந்நகராட்சி பகுதியில் செயல்பட்டு வரும் BULK WASTE GENERATOR (அதிகப்படியான கழிவுகளை உருவாக்குப்பர்வகன்) அவர்களிடமிருந்து உருவாகும் கழிவுகளை முறையாக செயலாக்கம் செய்திட திடக்கழிவு மேலாண்மை விதிகள் 2016 மற்றும் தமிழ்நாடு மாசுக்கட்டுபாட்டு வாரியம் அவர்களின் வழிகாட்டுதலின்படி இப்பணியினை முறையாக மேற்கொள்வதற்கு ஒச்சான்று வழங்கப்படுகிறது.

மேலும் ஒச்சான்றானது வழங்கப்பட்ட நாளிலிருந்து ஒரு வருட காலம் செல்வத்தக்கது, என ஒதன் மூலம் சான்றளிக்கப்படுகிறது.




துப்பாடுபூர்வமாக
மறைமலைவந்தர் நகராட்சி
Sanitary Inspector
Cum-Birth and Death Registrar
Marai Malai Nagar Municipality
Marai Malai Nagar

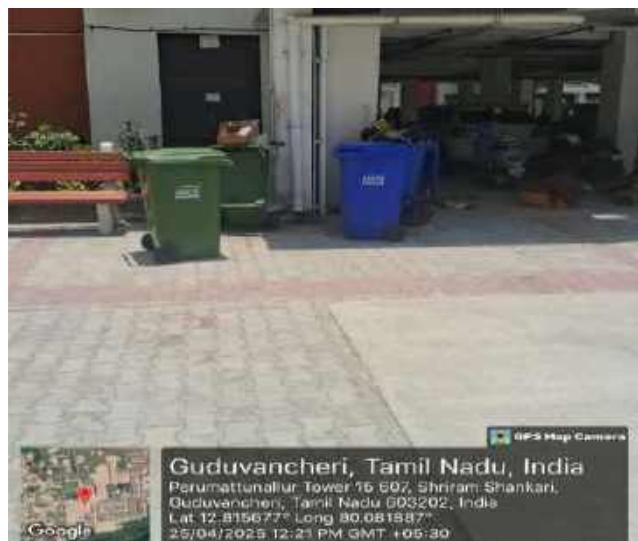
பெறுநர்

M/S. S.P.R.எண்டர்பிரைசன் ,
எஸ்டான்சியா வளாகம், ஜி.எஸ்.ரோடு எண்.எச்.45
வஸ்வாஞ்சேரி,
மறைமலைவந்தர், செங்கல்பட்டு மாவட்டம்.

Resting Seats within site using Waste Concrete



Collection Bins



OWC



Annexure 40
AMC for DG Sets (Used Oil)

SHRIPROP STRUCTURES PVT LTD
 No.09 Lakshmi Neela Rite Choice Chamber
 Bazullah Road, T.Nagar
 Chennai - 600017
 Phone : 080-4022-9999
 E-mail : info@shriramproperties.com
 GSTIN : 33AALCS5700M1Z6
 PAN : AALCS5700M

WORK ORDER



WO No : SPSPL/CHN/Maintenance/2023-2024/5900004026 Date : 21.10.2023

VENDOR DETAILS		PLACE OF WORK			
POWER CARE ENGINEERS No.5 Sundaresan Street, Rajaji Nagar Chennai Chennai-600043 Ph No : 9841186935 E-Mail : srinupowercare@gmail.com GSTIN : 33AVGPS5847Q1ZP PAN : AVGPS5847Q Contact Name : Srinivasan G Contact No : 9841186935		Delivery Address/ Project Name Shankari # Maintenance Shriram Shankari, Thangappapuram Perumattunallur Guduvancheri #Chengalpattu-603202			

Please Complete the under mentioned works in accordance with the terms and condition given below and overleaf

S.NO	Description	UOM	Quantity	Rate	Amount
1	DG sets AMC - t21,13	AU			
1.1	DG AMC CHARGES AMC for DG 125 KVA (Cummins) One year period	Nos	2.000	11,000.00	22,000.00
				Discount	0.00
				Sub Total	22,000.00
1	Transportation				0.00
2	Service Charge				0.00
3	Agency Commission				0.00
4	Professional Charges				0.00
5	Discount				0.00
6	Other Charges				0.00
				Total	22,000.00

Tax Details

1		CGST	9.00	0.00	1,980.00
2		SGST	9.00	0.00	1,980.00
3		IGST	0.00	0.00	0.00

*TDS will be deducted as per Government Norms Grand Total 25,960.00

Grand Total Amount In words : Indian Rupees TWENTY FIVE THOUSAND NINE HUNDRED SIXTY Rupees Only.

Terms & Conditions

Kind Attn: Mr. Srinivasan G - Power Care Engineers

Sub: Issue of Work Order towards "Non-Comprehensive AMC for DG Sets" at Shriram Shankari, Guduvanchery, Chennai.

SHRIPROP STRUCTURES PVT LTD
No.09 Lakshmi Neela Rite Choice Chamber
Bazullah Road, T.Nagar
Chennai - 600017
Phone : 080-4022-9999
E-mail : info@shriramproperties.com
GSTIN : 33AALCS5700M1Z6
PAN : AALCS5700M

WORK ORDER



Ref: your quotation No: Nil dated 08th April 2023.

Dear Sir,

With Reference to the above subject, we are awarding the Work Order for "Non Comprehensive AMC for 2 DG Sets in Phase 3" at Shriram Shankari, Guduvanchery, Chennai.

Contract Value:

The Contract sum shall be Rs. 22,000/- (Rupees Twenty Two Thousand Only) is exclusive of GST, Duties and Labour Welfare Cess. Any new taxes imposed by the government, statutory bodies, etc., will be paid accordingly.

Project Brief:

1. Scope & Brief Description:

Non Comprehensive AMC for 2 DG Set of Engine Sl. No: 84544742, No: 84544760 at Shriram Shankari, Guduvanchery, Chennai. Visits to the Site once in a month to carry out normal maintenance of the engine on a date mutually decided and On-call service for any breakdowns or emergencies as required.

2. Employer / Owner / Client and Address:

SHRIPROP STRUCTURES PRIVATE LIMITED (SSPL)
9, First Floor, Bazullah Road,
T. Nagar, Chennai # 600017. Ph: 044-40014410.
GST No: 33AALCS5700M1Z6

3. Site Address / Related Contact details:

"Shriram Shankari" Perumattunallur Village, Guduvanchery Chengalpattu Taluk at Chennai, Tamil Nadu.

4. Contractor Address:

M/s. POWER CARE ENGINEERS
No 5 Sundaresan Street, Rajaji Nagar
Chennai-600043
Ph No : 9841186935
E-Mail : srinupowercare@gmail.com
Contact Name : Srinivasan G
Contact No : 9841186935

5. Insurance of Works:

The Contractor shall be responsible for insurance of their men, material, plants & tools and all such other insurances as applicable by law.

6. Duration of Services:

12 Months from 1st -May-2023.

7. Time within which payment to be made by SSPL:

Within 7 working days after issue of certificate of payment by the Site Head to the Employer / Accounts Department

8. Terms of payment:

Two Equal instalments:

- # 1st Instalment - 50 % of payment shall be released after signing the Work order.
- # 2nd Instalment - Balance 50% of the payment shall be made after 6 months from the date of work order accepted by the contractor on producing all the supporting documents within 7 working days as certified by the site in charge.

9. Taxes:

The "Accepted rate" by the CONTRACTOR is excluding GST and Including TDS.

Note:

- # This Non Comprehensive AMC covers 12 maintenance visits per annum (Monthly Once)
- # This non comprehensive AMC not covers # Acoustic repairs, battery replacement, thefts, Fire and natural calamities and spares.

Escalation:

The quoted Amount derived from the agreed Offer is final and no escalation what so ever and under any circumstances shall be.

Quality Control:

You shall establish effective Quality Control System and implement the same through an independent team consisting of qualified and experienced engineers and technical personnel to enforce quality control on all items of works at all stages pertaining to AMC.

During replacement of defective batteries if any to be collected if sourced from service provider.

Safety Rules and Regulations:

The Contractor will abide by all safety rules, standards, specifications and practices in construction and also the instruction of our Safety Engineer at site. You are responsible for safety of your staff & employees, Employees of other agencies working in your area of operation. You shall delegate the responsibility of implementation of safety rules to one of your staff.

Housekeeping:

Maintaining site premises in neat & clean manner is the prime responsibility of the package Contractor. Failing which SSPL will employ workers and the actual cost plus overhead charges will be debited from your claims. The Service provider has to collect the hazardous waste such as used oil during the service and dispose to authorized hazardous waste processors

Indemnity:

The Contractor shall indemnify and keep indemnified us from and against any and all loss, damage, expense (including legal costs on a full indemnity basis), or liability (whether criminal or civil) and costs of settlement suffered or incurred by us, due to any neglect or default by you, your agents, employees, partners, directors or representatives of yours or due to any breach of undertaking, loss, regulation and other statutory requirements in force in the territory or any other reason so long as such loss, expense, damage, fees or costs resulted from the acts, operations or negligence of yours. The service provider indemnifies M/s. SSPL from all liabilities associated with transport, treatment, storage and disposal of wastes outside the project site subject to compliance to the contract and subject to the laws of the land.

Compliance of Labor Regulations:

The Contractor shall observe and comply with all laws applicable to Contract Labour Act, Interstate Migrant Workers Act and to workmen employed by them or any sub-Contractor employed on the Works. In the event of any default by way of non-observance or non-compliance of the said laws / rules on your part or the sub-Contractor, you shall indemnify the Employer against any liabilities, actions and costs / expenses arising out of or in connection therewith.

The Contractor shall ensure compliance with all statutes, laws, rules, and regulations of the Central or State Government or any other authority such as the Workman's Compensation Act 1923, Payment of Wages Act, Minimum Wages Act 1948, Employees State Insurance Act, Employees Provident Fund Act, etc. and any statutory modifications thereof in connection with employees engaged by you or your sub-Contractor in the work.

SHRIPROP STRUCTURES PVT LTD
No.09 Lakshmi Neela Rite Choice Chamber
Bazullah Road, T.Nagar
Chennai - 600017
Phone : 080-4022-9999
E-mail : info@shriramproperties.com
GSTIN : 33AALCS5700M1ZG
PAN : AALCS5700M

WORK ORDER



Accident or injury to Workmen and Reporting:

M/s. SSPL shall not be liable for or in respect of any damages or compensation payable at law in respect or in consequence of any accident or injury to any workmen or other person in the employment of the Contractor/Vendor or his Sub Contractor. The Contractor/Vendor shall indemnify and keep indemnified M/s. SSPL against all such damages and compensation and against all claims, demands, proceedings, costs, charges and expenses whatsoever in respect thereof or in relation thereto.

The Contractor/Vendor shall be responsible for the safety of all employees and / or workers employed or engaged by him on and in connection with the works and shall report within twenty four (24) hours all cases of accidents to any of them, however caused and whenever occurring, to the Project Manager and shall make every arrangement to render all possible assistance and aid to the victims of the accident.

Termination of Order:

It is agreed that contractor/ vendor shall enter a fresh MOU/ Service agreement with Shriram Shankari Owners Association when SSPL handing over the maintenance of common areas, Amenities and facilities to them.

This Order may be terminated by either party upon thirty (30) days# notice in writing in the event the other party should fail substantially to comply with the terms of the Order. In the event the Contractor/Vendor not abiding by his obligations under this deed, M/s. SSPL shall terminate his service without assigning any reason.

M/s. SSPL has the right to terminate the Order if the Contractor/Vendor fails to fulfil their obligations or violates any of the terms and conditions of the Order.

Arbitration Clause

1. Disputes of a nature immediately affecting the quality, safety, progress rate or cost/price of any critical item of the work in progress, shall be immediately referred to Conciliation. Any such dispute shall not be a reason for stopping the work and the SSPL shall not stop the work, unless specifically so instructed in writing by SSPL. All matters shall be subject to the right of conciliation, and if conciliation fails, to arbitration as per provisions of the Indian Arbitration and Conciliation Act 1996 to be conducted at Chennai.
2. It is mutually agreed between SSPL and the contractor that the sole arbitrator acceptable to both parties will hear and guide the parties to resolve the dispute at the earliest and the decision of the arbitrator will be final and binding on both the parties. All other disputes shall be subject to jurisdiction of competent courts in Chennai.

Correspondence

All queries and clarifications including billing and bill certifications pertaining to the offer shall be addressed to

Mrs. Radhakrishnan, (DGM - Maintenance)

M/s. Shriprop Structures Pvt Ltd,
Shriram Shankari,
Perumattunallur Village,
Guduvancherry, Chengalpattu Taluk,
Chennai, Tamil Nadu.

Please acknowledge this order and send us a signed copy as token of your acceptance.

PREPARED BY : Mahendran S

SHRIPROP STRUCTURES PVT LTD
No.09 Lakshmi Neela Rite Choice Chamber
Bazullah Road, T.Nagar
Chennai - 600017
Phone : 080-4022-9999
E-mail : info@shriramproperties.com
GSTIN : 33AALCS5700M1Z6
PAN : AALCS5700M

WORK ORDER



Authorized Signatory

Authorized Signatory
For Power Care Engineers

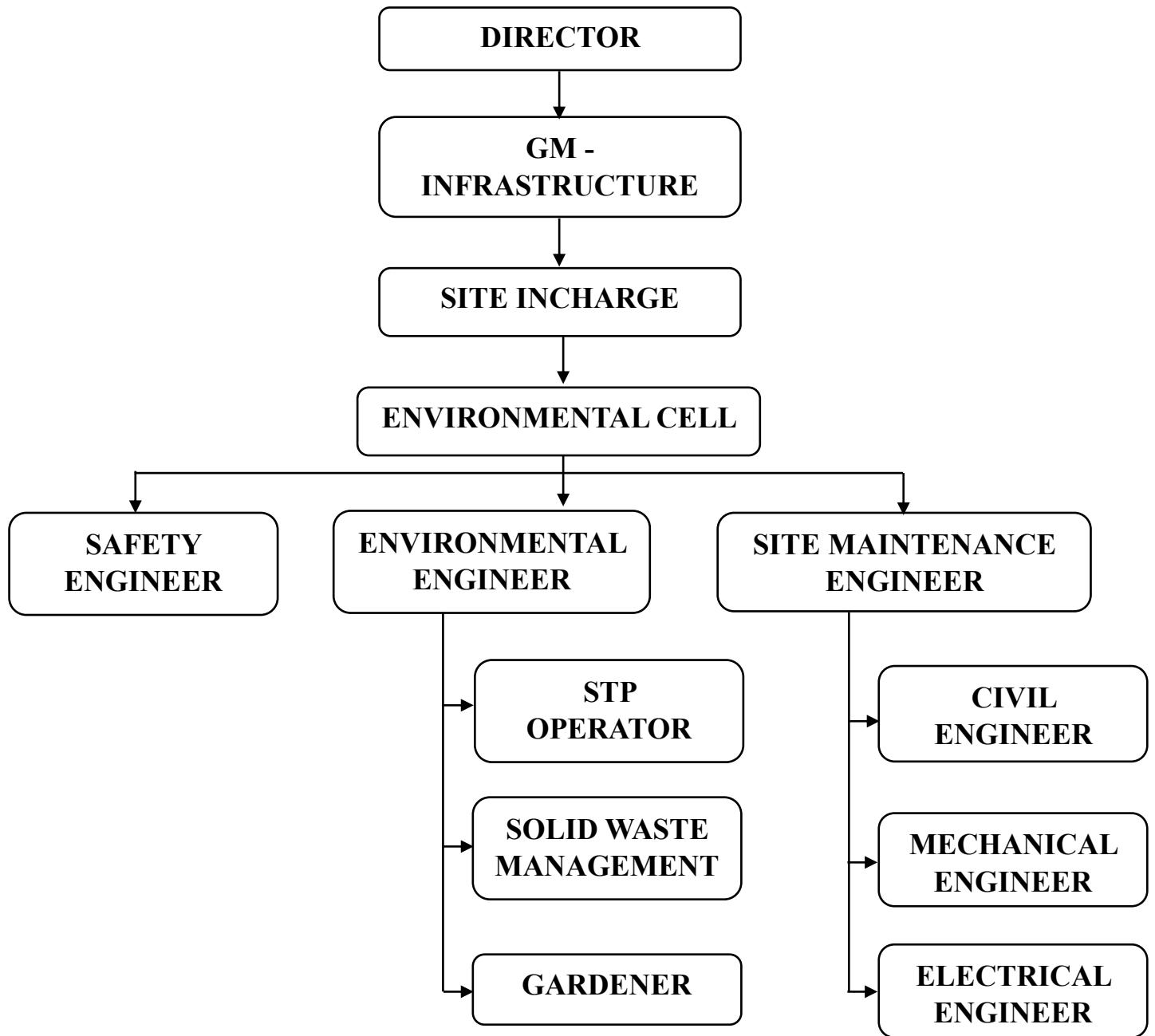
Annexure 41

Environmental Management Cell

&

Qualified Personnel Certificate

ENVIRONMENT MANAGEMENT CELL



1st Jan 2026

Mr Hariprasad S
S/O K Sekar,
No 14 Gandhi Raod,
Perungaluthur,
Chennai,Tamil Nadu - 600063
PAN: EVAPS3751M

Dear Hariprasad S,

APPOINTMENT LETTER

With reference to your application and the subsequent interview you had with us, we are pleased to appoint you as
"Executive -Liaisoning/Environment" in Shriram Properties Limited ("Company") under the following terms and conditions.

1. Commencement:

Your Date of Appointment will be effective from 1st Jan 2026

2. Salary & Benefits:

The Employee shall be paid annual emoluments of 2,16,000/- p.a (Rupees Two Lakhs Sixteen Thousand Only) as cost to the company as per Annexure 1. Your future increments will depend entirely on your performance in the Company.

3. Place of work:

The Employee shall be placed initially in Chennai. However, the Employee shall be liable to be transferred to any department, office or establishment forming part of the Company in India or overseas and the Employee shall abide by the working hours and norms of operation of that department, office or establishment without any extra remuneration.

4. Job Assignment /reporting

The Employee shall be responsible for duties of Deputy Manager- Liaisoning laid out as per the job description for this position and you will directly report to Deputy General Manager- Liaisoning.

5. Probation & Confirmation:

The Employee shall be on probation for a period of 6 months from the date of Appointment. If the Employee's services are found satisfactory, the Employee shall be informed of his/her confirmation in writing. The Company reserves the right to extend the period of probation at its discretion and the total period of probation shall not exceed 9 months. Probation extension shall be for 60 days only and if the Employee's performance is not satisfactory, he/she will be on performance improvement program for 1 month.

6. Full time Employment:

The Employee shall not carry on any business or devote any part of his/her time in any capacity in the service of, or be employed by any other firm, company or persons. The Employee shall devote his/her whole time and attention to his/her duties to promote the interest of the Company and shall not utilize or divulge any of the trade secrets to any persons, during or after his/her association with the Company.

7. Past Records:

This appointment letter is being issued to the Employee with the understanding that all the information furnished by him/her is complete and correct. If, however, the Company comes to know after having joined the services of the Company that he/she has intentionally withheld certain information or given false/incorrect information, Registered Office, Correspondence Address, the Company reserves the right to discharge his/her services without notice or payment of compensation.

'Shriram House', No. 31, T Chowdaiah Road,

Lakshmi Neela Rite Choice Chamber, 1st Flr,

Sadashivanagar, Bengaluru - 560 080

#9, Bazullah Road, T.Nagar, Chennai - 600 017.

P: +91-44-40014410 | W: www.shriramproperties.com

CIN No.: U45201KA2008PTC045030

8. Training:

The Employee may be deputed for training for professional development by the Company at its cost during the course of his/her employment with the Company; he/she has to sign an agreement for the period which will be decided by the company depending on the period of training and expenses incurred.

9. Termination:

a. During the Training / Probation period and any extension thereof, his/her services may be terminated by either side by giving 15 days' notice or salary in lieu thereof. However, on confirmation, services may be terminated from either side by giving 30 days' notice in writing or paying equivalent amount in lieu of notice period. The Company reserves the right to finally decide either of the above.

b. Non-compliance or willful failure to abide by each of or any of the terms of this letter of appointment shall be construed as an act of insubordination and shall invite the major penalty of dismissal from service, without notice, and without any indemnities or compensation in lieu of notice.

Notwithstanding the aforementioned, the Company shall be entitled to terminate the employment without notice, indemnities and compensation in any of the following events:

- i) If the Employee, in the opinion of the Company, is found guilty of misconduct, sexual harassment at workplace, disorderly behavior, insubordination, financial defalcation, misrepresentation of facts.
- ii) If the Employee has been found to have committed a serious breach or continual breach of any of his/her duties or obligations.
- iii) If the Employee is found to have made illegal monetary profit or received any gratuities or other rewards, in cash or in kind, out of any of the Company's affairs or any of its subsidiaries or related companies.

10. Retirement:

The Employee shall be relieved of his/her employment after attaining the age of 60 (sixty) years.

11. Employment Regulations:

a. The Employee shall abide by the Code of Conduct of the Company rules, regulations, Management decisions and directives as are prevalent, or may be enforced on future dates, as are or would be applicable to all the employees of the Company or as are or would be applicable during his/her tenure of employment in the Company.

b. The Employee shall keep the Company informed of any change of his/her communication numbers and address, change in civil status, he/she is being named in an FIR, or being part of any criminal proceeding or being arrested in connection of any case, change in name of nominee for settlement of claims and finally, suffering of any serious communicable disease.

c. The Employee shall not make any commitments or dealings on behalf of the Company or which he/she has no express authority, nor shall change or be a party to any principal policy or exceed authority or discretion vested in him/her without the prior approval of the Company or those in authority above him/her.

d. If any letter of authority or power of attorney is issued to him/her, he/she shall return it on demand or on termination / cessation of his/her employment.

e. The Employee shall also be responsible for safe custody of the records, apparatus and other articles or tools entrusted to him/her and in case of any damage or loss, the Company shall have the right to make suitable claims from his/her salary or any other amount due to him/her besides taking appropriate disciplinary action as deemed fit.

f. The Employee shall, in order to protect the interests of our Company, not solicit or induce any person who is an employee in the Company to leave the Company or demand any confidential information from any of the employees of the Company, after his/her termination or within three months prior to leaving the Company for his/her benefit or for the benefit of a third party.

Registered Office :

'Shriram House', No. 31, T Chowdaiah Road,
Sadasivanagar, Bengaluru - 560 080

Correspondence Address:

Lakshmi Neela Rite Choice Chamber, 1st Floor,
#9, Bazullah Road, T.Nagar, Chennai - 600 017.

P: +91-44-40014410 | **W:** www.shriramproperties.com

CIN No. : U45201KA2008PTC045030

g. The Employee shall not, during the term of your employment with our Company or at any time thereafter, make, directly or indirectly, any public or private statements, gestures, signs, signals or other verbal or nonverbal, direct or indirect communications that are or could be harmful to or reflects negatively on (or that are otherwise disparaging of) the Company, its subsidiaries, their respective business, or any of their past, present or future Officers, Directors, Employees, Advisors, Agents, policies, procedures, practices, decision-making, conduct, professionalism or compliance with standards.

12. Intellectual Property:

The Employee shall be required to disclose to us the Company forthwith any discovery, invention, process of improvement made, each of which shall belong absolutely to and be the sole property of the Company. If and when required by the Company, he/she shall, at the Company's expense, take or apply for patent, licenses or other required rights, privileges or protection as may be by the Company in respect of benefit thereof shall accrue to the Company and he/she shall execute all instruments, acts, deeds and things which may be required by the Company for assigning, transferring or otherwise vesting the same and all benefits arising in respect thereof in Company's favor.

13. Confidentiality / Non-Disclosure:

a. During the Employment Term and/or post termination of the employment/this Agreement with the Company for any reason whatsoever, the Employee shall not disclose or knowingly use or transfer or divulge or reveal, other than as authorized in writing by the Employer or within the scope of the Employee's duties with the Employer as determined reasonably and in good faith by the Employee, any Confidential Information (defined hereinafter) of the Employer to any person, firm, association or company, whether such Confidential Information is in the Employee's memory or embodied in writing or other physical form.

b. For the purpose of this Clause, "Confidential Information" shall mean any information which derives independent economic value, actual or potential, with respect to Employer from not being generally known to, and not being readily ascertainable by proper means by, other persons who can obtain economic value from its disclosure or use and is the subject of efforts to maintain its secrecy that are reasonable under the circumstances, including, but not limited to, business methods, business policies, policies, procedures, techniques, research or development projects or results, historical or projected financial information, budgets, trade secrets, or other knowledge or processes of, or developed by the Employer or any other confidential information relating to or dealing with the business operations of the Employer, made known to Employee or learned or acquired by Employee while in the employment of the Company and if any revelation of such Confidential Information to the competitors might place the Company at a competitive disadvantage.

- i) Notwithstanding the above, the term "Confidential Information" does not include information: (i) when disclosure is required by law or by any court, arbitrator, mediator or administrative or legislative body (including any committee thereof) with actual or apparent jurisdiction to order the Employee to disclose or make accessible any information.
- ii) As to information that becomes generally known to the public or within the relevant trade or industry other than due to the Employee's violation of this Clause; and
- iii) As to information that the Employee possessed prior to the commencement of employment with the Employer.

c. In the event of breach of this Clause by the Employee, the Employer shall be entitled to take appropriate legal action (including punitive and liquidated damages) against the Employee, both during the term and post termination of this Agreement.

d. Further to the above, the Employee's monthly emoluments detailed in the ANNEXURE I which has been finalized on the basis of his/her specific background, merit, Level & Grade, is highly Confidential Information in nature and personal to him/her. This shall not be divulged to any person in the Company except the representatives of the Company duly authorized to seek such details in writing.

Registered Office :

'Shriram House', No. 31, T Chowdaiah Road,
Sadashivanagar, Bengaluru - 560 080

P: +91-44-40014410 | W: www.shriramproperties.com

CIN No. : U45201KA2008PTC045030

Correspondence Address:

Lakshmi Neela Rite Cholce Chamber, 1st Floor,
#9, Bazullah Road, T.Nagar, Chennai - 600 017.

14. Address for Communication:

The Employee shall keep the company informed of any change in his/her residence address that may happen during the course of his/her employment with the company. The last declared address is deemed appropriate for legal delivery of any official communication.

15. Statutory Benefits:

The Employee shall be governed by all applicable statutes including Provident Fund / Employee State Insurance / Gratuity.

16. Medical Fitness:

The Employee shall undergo at any time, as decided by the Company, medical examinations or tests by the Medical Officer nominated / appointed by the Company. In case the tests or examinations reveal that he/she is suffering from any contagious or other diseases which are harmful for other employees in the Company or which come in the way of his/her or other's normal way of working in this Company or that he/she has remained on leave for a period of 7 days without informing the Company, the Company reserves the right to discharge his/her services without any notice or compensation.

17. Jurisdiction:

Any disputes or legal issues arising out of association / acts of deeds during the term of employment with the Company shall be subject to the jurisdiction of the Bangalore court, India, only.

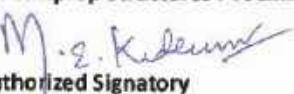
18. Anti-bribery and Corruption Policy:

All forms of bribery and corruption are prohibited. The company will not tolerate any act of bribery or corruption. Any breach of this policy or Law of India could result in disciplinary action being taken and could result in termination of employment.

19. Anti-Money Laundering Policy:

The executive agrees to comply with all applicable anti-money laundering, anti-fraud and anti-corruption laws to support the company by adhering to the processes to check for and prevent any breaches of such laws. In case the above terms and conditions are agreeable to you, please sign and return the duplicate copy of this letter to us in token of your having read, understood and accepting the above terms and conditions. Wish you a very happy, successful and long tenure in Shriram Properties Limited.

For Shriprop Structures Pvt Limited


Authorized Signatory

DECLARATION

I have fully read, understood, and accepted the above terms and conditions and reported on 01/01/2026.
All future communications from the Company may be addressed to the following address.

Signature: 
Date: 01/01/2026

Registered Office :

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Anna University



Reg. No. 2022406031/RG

The Syndicate of the Anna University hereby makes known that **HARI PRASAD S** has been admitted to the **DEGREE OF MASTER OF TECHNOLOGY** in **ENVIRONMENTAL SCIENCE AND TECHNOLOGY** under the *Faculty of Technology*, having completed the prescribed programme of study through **ALAGAPPA COLLEGE OF TECHNOLOGY, CHENNAI** of this University and having been certified by the duly appointed examiners to be qualified to receive the same, and has been placed in **FIRST CLASS** at the Examination held in **APRIL 2024**.

Given under the Seal of the University



Chennai 600 025
India
October 2024

P. Senthilvel Dr. A. Calath
Controller of Examinations Registrar

Chairman, Convener Committee
Vice-Chancellor